

Village of Spring Valley

Zoning Board Agenda

June 10th,2020

Zoning Board Members

- Moshe Hopstein, Chairman
- Ghulam Fani, Vice Chairman
- Eli Solomon
- Martha Patrick
- Simon Deutsch
- Abel Torres-Rivera

A. Call to Order

B. Pledge of Allegiance

9-11-13 Lafayette:

The subject property is located on the west side of Lafayette St, 150 ft north from intersection of White St and Lafayette St in a R-2 Zone. The property is designated on the Town of Ramapo Tax Map as Section 57.40 Block 1 Lot 44.3,44.4,44.5. The applicant is seeking variances for proposed Three Two-family Dwelling. The variances are as follows: Lot Area: 10,000 sf required, 2,500 sf provided(Lot 1), 10,000 sf required, 2,500 sf provided (Lot 2), 10,000 sf required, 2,500 sf provided(Lot 3) ; Lot Width: 100 ft required, 25 ft provided(Lot1), 100 ft required, 25 ft provided(Lot2), 100 ft required, 25 ft provided(Lot 3); Street Frontage: 70 ft required, 25 ft provided(Lot 1), 70 ft required, 25 ft provided(Lot 2),70 ft required, 25 ft provided (Lot 3); Side Yard: 15 ft required,0 ft provided(Lot 1), 15 ft required,0 ft provided(Lot 2), 15 ft required, 0 ft provided (Lot 3); Rear Yard: 20 ft required, 19.3 provided(Lot 1), 20 ft required, 19.5 provided(Lot 2); Total Side Yard: 30 ft required, 8 ft provided(Lot 1), 30 ft required, 8 ft provided(Lot 2),30 ft required, 0 ft provided(Lot 3); parking spaces: 4 required, 2 provided(Lot 1), 4 required, 2 provided(Lot 2).

Applicant: Mordechai Bixenspan

16 Funston Ave: Extension of Prior Approval

21 Collins Ave

The subject property is located on the west side of Collins Ave, 150 feet south of West Church St in a R-2 zone. The property is designated on the Town of Ramapo Tax Map as Section 57.37 Block 1 Lot 34. The applicant is seeking variances for a proposed two-family dwelling. The requested variances are as follows: Lot Area: 10,000 sf required, 5,750 sf provided; Lot Width: 100 ft required, 50 ft provided: Front Yard: 25 ft required, 22 ft provided; Side Yard: 15 ft required, 10 ft provided; Rear Yard: 20 ft required, 10 ft provided; FAR: Max allowed .65, .6758 proposed
Applicant: Ace Builders

4-6 Stanley Place:

The subject property is located on the North East Corner of Aselin Dr. and Stanley Drive in a R-1A zone. The property is designated on the Town of Ramapo Tax Map as section 50.62 block 1 lot 23. The applicant is seeking variances for a proposed Two-family dwelling. The variances are as follows: FAR: Max allowed .65, .97 proposed.

Applicant: Moses Friedman

The subject property is located on the East side of Stanley Drive, 0 ft south of Valley View Terr. in a R-1A zone. The property is designated on the Town of Ramapo Tax Map as section 50.62 block 1 lot 22. The applicant is seeking variances for a proposed Two-family dwelling. The variances are as follows: FAR: Max allowed .65, .91 proposed

Applicant: Moses Friedman

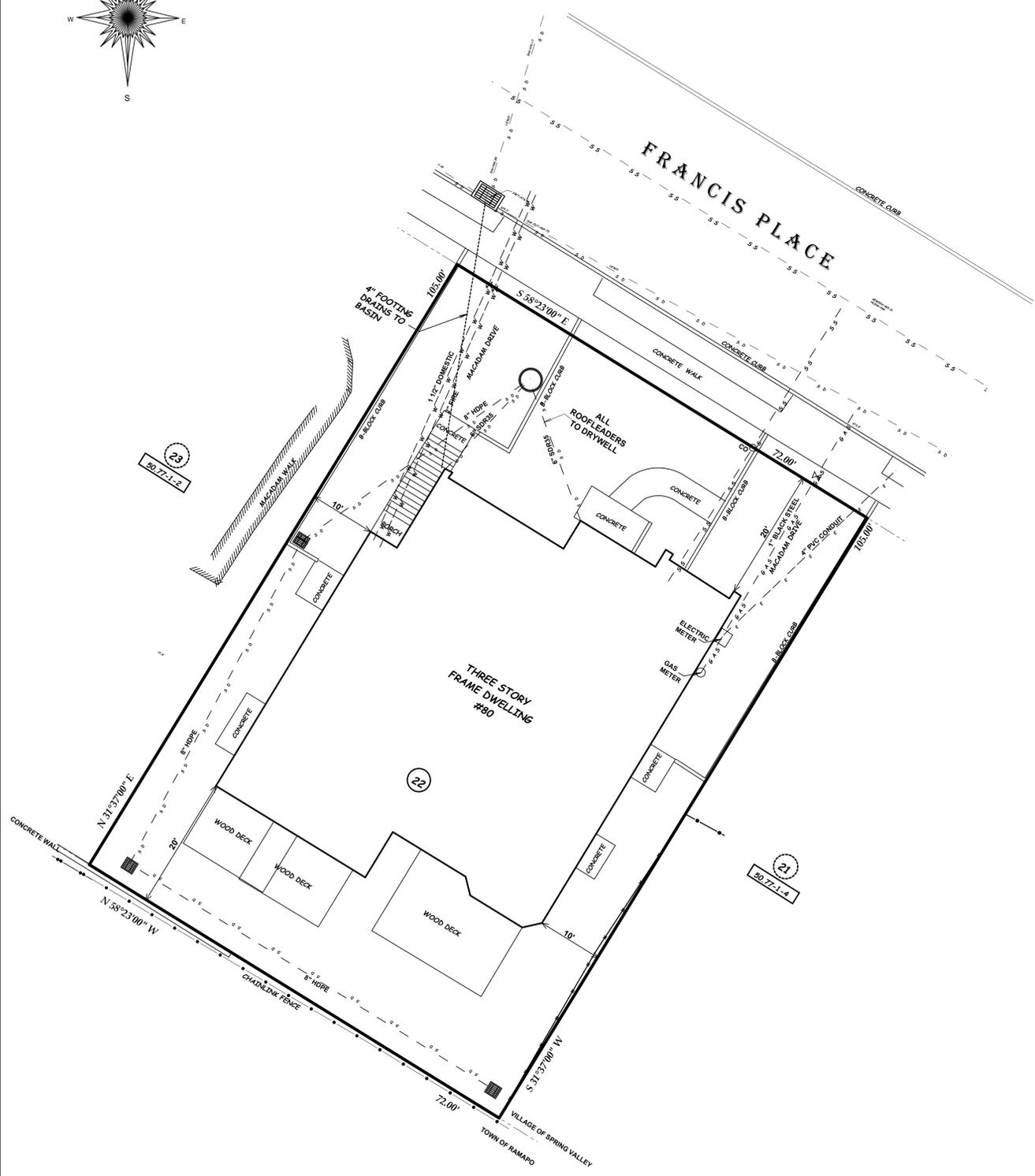
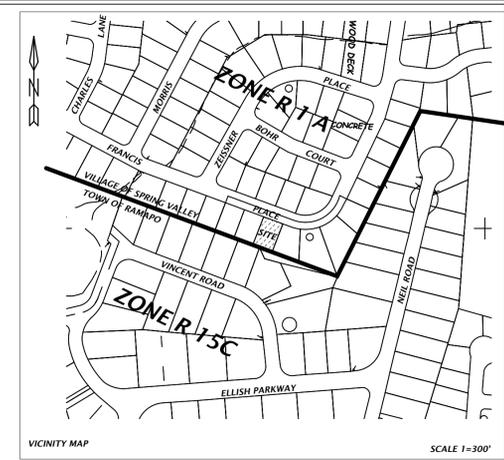
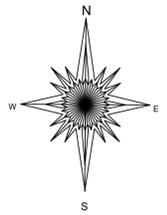
14 Elener Lane:

The subject property is located on the south side of Elener lane, approx.157 ft west of North Rigaud in a R-1A zone. The property is designated on the Town of Ramapo Tax Map as section 50.53 Block 1 Lot 15. The applicant is seeking variances for a proposed two-family dwelling. The variances requested are as follows: Lot Width: 80 ft required, 73.76 ft provided; Side Yard: 15 ft required, 10 ft provided; Total Side Yard: 30 ft required, 20 ft provided
Applicant: Samuel Kurtz

80 Francis Place:

The subject property is located on the North side of Francis Place, 300 ft East of Zeissner St in a R-1A zone. The property is designated on the Town of Ramapo Tax Map as Section 50.77 Block 1 Lot 3. The applicant is seeking variances for a proposed two- family dwelling. The variances requested are as follows: FAR: Max allowed .65, 1.08 proposed

Applicant: Sam Wettenstein



NOTE:
IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.
*ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL ARE THE PRODUCT OF THE LAND SURVEYOR.
THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSES AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT.
THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.

LOT AREA 7,560.00 SQUARE FEET
BEING LOT 22 BLOCK D ON A CERTAIN MAP ENTITLED "SECTION FIVE"
FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE
AS MAP #3613 BOOK #73 PAGE #62 ON 08/15/1967.

BULK REQUIREMENTS ZONE: R-1A TWO FAMILY DETACHED DWELLING

	USE GROUP	MINIMUM LOT AREA (SQUARE FEET)	LOT WIDTH (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	REAR YARD (FEET)	TOTAL SIDE YARD (FEET)	MAXIMUM BUILDING HEIGHT	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO (FAR)	PARKING	STREET FRONTAGE
REQUIRED	C	8,500 SF	80'	25'	15'	20'	30'	35'	3 STORIES	0.65	4	70'
GRANTED	C	7,560 SF	72'	22'	10'	20'	20"	35'	3 STORIES	0.65	4	70'
PROVIDED				20"						1.08'		

*VARIANCE REQUIRED

- 1. ZONE R1A
- 2. FIRE DISTRICT: SPRING VALLEY
- 3. WATER DISTRICT: SUEZ
- 4. ELECTRIC DISTRICT: ORANGE AND ROCKLAND
- 5. SEWER DISTRICT: RCSD#1
- 6. SCHOOL DISTRICT: EAST RAMAPO

TAX MAP DESIGNATION: 50.77-1-3
NEW VARIANCE
REQUIRED FOR

80 FRANCIS PL

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK

MAY 13, 2020 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.L.S.
31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5200 FAX 429 5974



Anthony R. Celentano LIC#50633

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

March 19, 2020

Spring Valley Zoning Board of Appeals
200 N. Main Street
Spring Valley, NY 10977

Tax Data: 50.62-1-23

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 2/4/2020

Date Review Received: 2/25/2020

Item: **4 STANLEY PLACE (SV-886A)**

A variance application for floor area ratio (FAR) for a two-family dwelling on a corner lot with 0.17 acres in the R-1A zoning district. Variances were previously granted for lot area, lot width, front yards (Stanley Place and Aselin Drive), side yard, and rear yard. Substantial construction has been completed. The floor area ratio variance is requested because the basement, as constructed, no longer qualifies for an exemption of floor area ratio.

The northeastern corner of Aselin Drive and Stanley Place

Reason for Referral:

Pascack Brook, Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

1 A previous variance application for this property was reviewed by this department on May 9, 2018. According to the narrative provided, field conditions during construction required the structure to be built at a higher elevation than proposed. This prevented the basement from being exempt from floor area ratio requirements, which necessitated obtaining an additional variance. In a previous communication with the Spring Valley village attorney's office regarding the FAR exemption for basements, this department noted that a residential FAR requirement that does not incorporate all residential living space is ill-conceived. This project, and the current application, reinforces this statement. The purpose of placing restrictions on FAR, like that of other bulk requirements, is to limit the land use impacts of a project. The land use impacts of the original proposal and the current application are essentially unchanged, demonstrating that allowing the basement exemption to the FAR requirement masks the extent of those impacts and renders the requirement pointless. The village must re-evaluate how FAR is calculated and consider amending the zoning regulations to incorporate all living spaces within the residential FAR requirement, as this would more accurately represent the actual land use impacts of a proposal.

4 STANLEY PLACE (SV-886A)

2 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. This property has already received substantial area variances. The lot area is 88% of the required minimum. The lot width along Aselin Drive is 86% of the minimum. The two front yards are deficient by 39% and 12%. The side yard is deficient by 33% and the rear yard is deficient by 40%. The currently proposed variance of floor area ratio exceeds the maximum standard by 49%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development.

3 The Town of Ramapo is one of the reasons this proposal was referred to this department for review. The municipal boundary is approximately 305 feet to the east of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

4 The applicant must comply with all comments made by the Rockland County Sewer District No. 1 in their letter of February 24, 2020.

5 The application form indicates the property receives water service from United Water. The form must be corrected to Suez.

6 As shown, the proposed residential building may require a variance from the New York State Uniform Fire Prevention and Building Code since a deck is located closer than ten feet to the property line.

7 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code raised in the Executive Deputy Secretary of State's letter of July 15, 2016, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code.

8 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

4 STANLEY PLACE (SV-886A)

9 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
New York State Department of State
Rockland County Department of Health
Rockland County Drainage Agency
Rockland County Sewer District #1

Anthony R. Celentano P.E.
Town of Ramapo Planning Board

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
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Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

March 19, 2020

Spring Valley Zoning Board of Appeals
200 N. Main Street
Spring Valley, NY 10977

Tax Data: 50.62-1-22

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 2/4/2020

Date Review Received: 2/25/2020

Item: 6 STANLEY PLACE (SV-887A)

A variance application for floor area ratio for a two-family dwelling on a corner lot with 0.18 acres in the R-1A zoning district. Variances were previously granted for lot area, lot width, front yards (Stanley Place and Valley View Terrace), side yard, and rear yard. Substantial construction has been completed. The floor area ratio variance is requested because the basement, as constructed, no longer qualifies for an exemption of floor area ratio.

The southeastern corner of Stanley Place and Valley View Terrace.

Reason for Referral:

Pascack Brook, Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

**Recommend the following modifications*

1 A previous variance application for this property was reviewed by this department on May 15, 2018. According to the narrative provided, field conditions during construction required the structure to be built at a higher elevation than proposed. This prevented the basement from being exempt from floor area ratio requirements, which necessitated obtaining an additional variance. In a previous communication with the Spring Valley village attorney's office regarding the FAR exemption for basements, this department noted that a residential FAR requirement that does not incorporate all residential living space is ill-conceived. This project, and the current application, reinforces this statement. The purpose of placing restrictions on FAR, like that of other bulk requirements, is to limit the land use impacts of a project. The land use impacts of the original proposal and the current application are essentially unchanged, demonstrating that allowing the basement exemption to the FAR requirement masks the extent of those impacts and renders the requirement pointless. The village must re-evaluate how FAR is calculated and consider amending the zoning regulations to incorporate all living spaces within the residential FAR requirement, as this would more accurately represent the actual land use impacts of a proposal.

6 STANLEY PLACE (SV-887A)

2 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. This property has already received substantial area variances. The lot area is 93% of the required minimum. The lot width along Valley View Terrace is 94% of the minimum. The two front yards are deficient by 20%. The side yard is deficient by 33% and the rear yard is deficient by 25%. The currently proposed variance of floor area ratio exceeds the maximum standard by 40%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development.

3 The Town of Ramapo is one of the reasons this proposal was referred to this department for review. The municipal boundary is approximately 355 feet to the east of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

4 The application form indicates the property receives water service from United Water. The form must be corrected to Suez.

5 The applicant must comply with all comments made by the Rockland County Sewer District No. 1 in their letter of February 24, 2020.

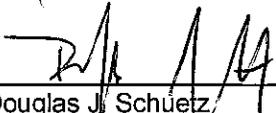
6 As shown, the proposed residential building may require a variance from the New York State Uniform Fire Prevention and Building Code since a deck is located closer than ten feet to the property line.

7 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code raised in the Executive Deputy Secretary of State's letter of July 15, 2016, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code.

8 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

6 STANLEY PLACE (SV-887A)

9 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz,
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
New York State Department of State
Rockland County Department of Health
Rockland County Drainage Agency
Rockland County Sewer District #1

Anthony R. Celentano P.E.
Town of Ramapo Planning Board

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

DEPARTMENT OF PLANNING

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Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

March 30, 2020

Spring Valley Zoning Board of Appeals
200 N. Main Street
Spring Valley, NY 10977

Tax Data: 57.40-1-44.5

57.40-1-44.4

57.40-1-44.3

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 9/17/2019

Date Review Received: 2/28/2020

Item: 9-13 LAFAYETTE STREET (SV-988A)

Variances to permit the construction of three two-family dwellings located on 0.17 acres in the R-2 zoning district. The variances required for all Lots include lot area, lot width, side yard, total side yard, and street frontage. A variance for parking is required for Lots 1 and 3 and a variance for rear yard is required for Lots 1 and 2.

West side of Lafayette Street, approximately 166 feet north of White Street

Reason for Referral:

Town of Clarkstown

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Disapprove***

1 The subject parcels do not meet the minimum lot area standard of 8,500 square feet required for a single-family residence, and provide only one quarter of the lot area required for a two-family dwelling. The lots are non-conforming for width and street frontage, as well. The proposed two-family residences will require substantial yard variances to accommodate oversized residential buildings on undersized parcels. The surrounding neighborhood is characterized by similarly-sized parcels. Granting these bulk variances will set a precedent that may result in nearby property owners seeking the same relief. A doubling of the residential density in this neighborhood of non-conforming parcels will negatively impact its community character and infrastructure capacity. Additional residents will generate more traffic on the local streets, leading to congestion and traffic conflicts. While two-family residences are permitted as of right in the R-2 zoning district, they are subject to stricter bulk requirements. These parcels are particularly deficient in meeting these more stringent standards. The required variances must be denied, and only a single-family dwelling permitted on each lot.

9-13 LAFAYETTE STREET (SV-988A)

2 The Village zoning regulations authorize the Zoning Board of Appeals to "vary or modify the strict letter of this chapter, where its literal interpretation would cause practical difficulties or unnecessary hardships..." The subject property is a regularly-shaped parcel with no unusual conditions or hardships for which any variances would be necessary to grant relief. The application, therefore, does not represent a request for relief from a hardship, but rather is a request to overdevelop the properties. Bulk requirements, such as minimum yard size and parking in the side yard, serve an important and necessary function, and should not be dismissed without cause or the identification of a legitimate hardship. As stated above, we recommend that this application be disapproved, and that the properties be developed within the requirements of the village zoning regulations.

3 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. The proposed lot area and lot width are only 25% of the required minimums for each lot. The street frontages are 36% of the required minimum. There is no side yard for any lot when 15 feet is required. The total side yard is deficient by 73% for Lots 1 and 3, and no side yard is provided for Lot 2. In addition, Lots 1 and 3 only provide two parking spaces when four are required. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development. To maintain the integrity of the zoning ordinance, the variances must be denied and the two-family dwellings must not be permitted.

4 Variances of this magnitude and extent must not continually be approved. The Village has developed zoning standards that are reasonable and must be followed. If the Village continues to grant variances of this intensity, the intent of the zoning ordinance is undermined. If development that reflects the end result of granting these numerous and significant variances continues, then the zoning ordinance must be amended and a Comprehensive Plan updated and/or created. A plan that reflects current goals and objectives will provide a unified vision for the Village that the zoning code will reflect. With a Comprehensive Plan in place that permits larger development on what is now considered an undersized parcel, the applicant will no longer need to apply for any variances as their development will conform to the overall vision of the Village.

The following comments address our additional concerns about this proposal:

5 The Town of Clarkstown is the reason this proposal was referred to this department for review. The municipal boundary is approximately 440 feet east of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

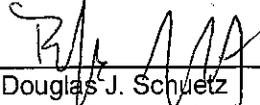
The Town of Clarkstown must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Clarkstown must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

6 A review must be completed by the County of Rockland Department of Health, any comment or concerns addressed, and any required permits obtained.

7 A review must be completed by the County of Rockland Sewer District No. 1, any comments or concerns addressed, and all required permits obtained.

9-13 LAFAYETTE STREET (SV-988A)

- 8 A review must be completed by the Rockland County Office of Fire and Emergency Services, the Village of Spring Valley Fire Inspector, or the Spring Valley Fire Department to ensure that sufficient access to the site is provided in the event an emergency arises.
- 9 Map note N must be amended to not refer to section 239 N of the General Municipal Law as no subdivision is currently proposed.
- 10 The calculation for the floor area ratio for each lot must be provided on the site plan so their accuracy can be verified.
- 11 Our department previously reviewed a variance application for tax lot 57.40-1-44.5. The site plan provided with that application had a date of September 17, 2019. The site plan provided with this application appears to be a revision of the previous plan, but also has a date of September 17, 2019. A revision table must be provided with the most recent date provided chronologically.
- 12 The proposed residential building must comply with all requirements of the New York State Uniform Fire Prevention and Building Code. All sidewalks, stairs, decks, and window wells must be shown on the site plan to ensure that there is sufficient access to the building for firefighting purposes.
- 13 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code initially raised in the Executive Deputy Secretary of State's letter of July 15, 2016, and subsequently again in December 18, 2017, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code
- 14 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.
- 15 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
New York State Department of State
Rockland County Department of Health
Rockland County Office of Fire and Emergency Services
Rockland County Sewer District #1
Spring Valley Fire District

Anthony R. Celentano P.E.
Town of Clarkstown

9-13 LAFAYETTE STREET (SV-988A)

Rockland County Planning Board Members

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center

50 Sanatorium Road, Building T

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Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz

Acting Commissioner

Arlene R. Miller

Deputy Commissioner

February 25, 2020

Spring Valley Zoning Board of Appeals

200 N. Main Street

Spring Valley, NY 10977

Tax Data: 50.53-1-15

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 11/20/2019

Date Review Received: 1/29/2020

Item: *14 ELENER LANE (SV-994)*

A variance application to allow the construction of a two-family dwelling on 0.21 acres in the R-1A zoning district. Variances are requested for lot width, side yard, and total side yard.

The southern side of Elener Lane, approximately 175 feet east of North Rigaud Road

Reason for Referral:

Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

**Recommend the following modifications*

1. Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. The proposed lot width is 92% of the required minimum. The side and total side yards are deficient by 33%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development. The size of the building must be reduced so that the side yard and total side yards are compliant.

14 ELENER LANE (SV-994)

2 The Town of Ramapo is the reason this proposal was referred to this department for review. The municipal boundary is approximately 325 feet west of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

3 There are discrepancies between the site plan and the architectural plans that were provided by Hartman Design, dated January 12, 2020. Two rear decks are depicted on the architectural plans but are not indicated on the site plan. The architectural plans depict a building jog along each side wall of the structure, set back approximately 16 feet from the front façade. The site plan appears to indicate building jogs approximately 24 feet from the front façade. The site plan indicates there are two side entries with staircases and an 8'x8' entry platform that are not depicted in the architectural plans. Lastly, there are two front projections indicated on the site plan that are not in the same configuration as those depicted in the architectural plans. All materials must be consistent. The applicant must clarify their intentions and correct these discrepancies, and if required, additional variances sought.

4 The front projections, as depicted in the architectural plans, consist of enclosed living space and do not fall under the yard exemption of Section 255.22.C of the village's zoning regulations. The site plan must be amended to measure the front yard distance from the property line to these projections. If a variance of the front yard is required, the application must be revised and resubmitted for review and a new public hearing notice must be issued.

5 The architectural plans provided are not to-scale. To-scale drawing must be provided.

6 A review must be completed by the Rockland County Department of Health to ensure compliance with Article XIX (Mosquito Control) of the Rockland County Sanitary Code.

7 A review must be completed by the County of Rockland Sewer District No. 1 and all required permits obtained from them.

8 Public sewer mains requiring extensions within a right-of-way or an easement shall be reviewed and approved by the Rockland County Department of Health prior to construction.

9 A turnaround area must be provided to prevent vehicles from backing into the roadway.

10 The application form indicates the property receives water service from United Water. The form must be corrected to Suez.

14 ELENER LANE (SV-994)

11 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code initially raised in the Executive Deputy Secretary of State's letter of July 15, 2016, and subsequently again in December 18, 2017, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code.

12 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

13 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
Rockland County Department of Health
Rockland County Sewer District #1
New York State Department of State

Anthony R. Celentano P.E.
Town of Ramapo Planning Board

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center

50 Sanatorium Road, Building T

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Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz

Acting Commissioner

Arlene R. Miller

Deputy Commissioner

December 16, 2019

Spring Valley Zoning Board of Appeals

200 N. Main Street

Spring Valley, NY 10977

Tax Data: 57.37-1-34

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 10/25/2019

Date Review Received: 11/14/2019

Item: 21 COLLINS AVENUE (SV-987)

A variance application to allow the construction of a two-family dwelling on 0.13 acres in the R-2 zoning district. Variances are requested for lot area, lot width, front yard, side yard, total side yard, rear yard, floor area ratio, street frontage, and parking in the front yard.

The western side of Collins Avenue, approximately 200 feet north of West Church Street

Reason for Referral:

Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Disapprove***

1 The subject site does not meet the minimum lot area standard of 8,500 square feet required for a single-family residence, and provides slightly more than one-half of the lot area required for a two-family dwelling. The lot itself is non-conforming for width and street frontage, as well. The proposed two-family residence will require substantial yard variances to accommodate an oversized residential building on an undersized parcel. The surrounding neighborhood is characterized by similarly-sized parcels. Granting these bulk variances will set a precedent that may result in nearby property owners seeking the same relief. A doubling of the residential density in this neighborhood of non-conforming parcels will negatively impact its community character and infrastructure capacity. Additional residents will generate more traffic on the local streets, leading to congestion and traffic conflicts. While two-family residences are permitted as of right in the R-2 zoning district, they are subject to stricter bulk requirements. This site is particularly deficient in meeting these more stringent standards. We recommend that the required variances be denied, and that only a single-family residence be permitted.

21 COLLINS AVENUE (SV-987)

2 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. The proposed lot area is 58% of the required minimum. The lot width is only 50% compliant, while the street frontage is 71% of the required minimum. The front yard is deficient by 8%, the side and total side yards are deficient by 67%, and the rear yard is deficient by 50%. The FAR exceeds the maximum standard by 4%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development. As indicated above, only a single-family dwelling can be constructed to maintain the integrity of the zoning ordinance.

The following comments address our additional concerns about this proposal.

3 The Town of Ramapo is the reason this proposal was referred to this department for review. The municipal boundary is approximately 295 feet west of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

4 The applicant must comply with all comments made by the Rockland County Department of Health in their letter of December 9, 2019.

5 A review must be completed by the County of Rockland Sewer District No. 1 and all required permits obtained from them.

6 The site plan has been reduced in size and is not to-scale. A full-sized, to-scale site plan shall be provided.

7 The north arrows on the site plan and the vicinity map are not mutually compatible. The arrows are oriented in the same direction, while the property lines depicted on the site plan and the vicinity map are not. The inaccurate north arrow must be identified and corrected.

8 The site plan shall contain map notes, including district information. The applicant's engineer has been reminded of this requirement, and the importance of providing these details.

9 The site plan indicates that there is a utility pole within the southern accessway. The site plan must indicate the pole is to be relocated. In addition, curb cuts must be depicted on the site plan.

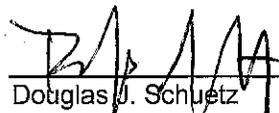
10 The application form indicates the property receives water service from United Water. The form must be corrected to Suez.

21 COLLINS AVENUE (SV-987)

11 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code initially raised in the Executive Deputy Secretary of State's letter of July 15, 2016, and subsequently again in December 18, 2017, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code.

12 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

13 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
Rockland County Department of Health
Rockland County Sewer District #1
New York State Department of State

Anthony R. Celentano P.E.
Town of Ramapo Planning Board

Rockland County Planning Board Members

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
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Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

July 11, 2018

Spring Valley Zoning Board of Appeals
200 N. Main Street
Spring Valley, NY 10977

Tax Data: 50.77-1-3

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 11/21/2017

Date Review Received: 6/19/2018

Item: *80 FRANCIS PLACE (SV-910)*

A variance application to allow the construction of a two-family dwelling on 0.17 acres in the R-1A zoning district. Variances are requested for lot area, lot width, front yard, side yard, and total side yard. The southern side of Francis Place, approximately 230 feet east of Zeissner Lane.

Reason for Referral:

Town of Ramapo, Pascack Brook

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

1 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. The proposed lot area is 89% of the required minimum and the lot width is 90% of the minimum. The front yard is deficient by 12% and the side and total side yards are deficient by 33%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development.

80 FRANCIS PLACE (SV-910)

2 The Town of Ramapo is one of the reasons this proposal was referred to this department for review. The municipal boundary is adjacent to the southern property line of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

3 The applicant must comply with all comments made by the Rockland County Department of Health in their letter of May 31, 2018.

4 The applicant must comply with all comments made by the Rockland County Sewer District No. 1 in their letter of June 29, 2018.

5 A review must be completed by the County of Rockland Drainage Agency and all required permits obtained from them.

6 The use of tandem parking spaces prevents egress for vehicles blocked by other vehicles and creates an inconvenient situation for residents. This layout will encourage residents to park vehicles off-site instead of in their designated spaces and negates the purpose of on-site parking requirements. The tandem parking spaces must be reconfigured to allow independent access for all parking spaces.

7 The site plan indicates the proposed structure will have three stories and a FAR of 0.65. However, the site plan shows a building footprint of approximately 2,716 square feet. Assuming each story will have a gross floor area equal to the footprint, the proposed structure will have an overall gross floor area of approximately 8,148 square feet. This would result in a FAR of 1.08. Although this is an estimate, a FAR of 1.18 is 66% greater than the allowed maximum FAR of 0.65. The magnitude of this discrepancy requires further attention. The applicant must positively demonstrate that the proposed structure will conform to the Village's FAR requirement; a FAR calculation must be provided on the site plan. If the FAR exceeds the allowable 0.65, the variance application must be amended and the public hearing notice must be reissued. Any application that is revised due to an increase in FAR must be sent to this department for review.

8 The bulk table indicates that the provided street frontage is 70 feet, but the site plan indicates the front property line is 72 feet long. The bulk table must be corrected.

9 The proposed residential building must comply with all requirements of the New York State Uniform Fire Prevention and Building Code. All sidewalks, entries, and window wells must be shown on the site plan to ensure that there is sufficient access to the building for firefighting purposes.

80 FRANCIS PLACE (SV-910)

10 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code raised in the Executive Deputy Secretary of State's letter of July 15, 2016, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code.

11 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

12 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
Rockland County Department of Health
Rockland County Drainage Agency
Rockland County Sewer District #1
New York State Department of State

Anthony R. Celentano P.L.S.
Town of Ramapo

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
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Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

March 19, 2020

Spring Valley Zoning Board of Appeals
200 N. Main Street
Spring Valley, NY 10977

Tax Data: 50.62-1-22

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 2/4/2020

Date Review Received: 2/25/2020

Item: 6 STANLEY PLACE (SV-887A)

A variance application for floor area ratio for a two-family dwelling on a corner lot with 0.18 acres in the R-1A zoning district. Variances were previously granted for lot area, lot width, front yards (Stanley Place and Valley View Terrace), side yard, and rear yard. Substantial construction has been completed. The floor area ratio variance is requested because the basement, as constructed, no longer qualifies for an exemption of floor area ratio.

The southeastern corner of Stanley Place and Valley View Terrace.

Reason for Referral:

Pascack Brook, Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

**Recommend the following modifications*

1 A previous variance application for this property was reviewed by this department on May 15, 2018. According to the narrative provided, field conditions during construction required the structure to be built at a higher elevation than proposed. This prevented the basement from being exempt from floor area ratio requirements, which necessitated obtaining an additional variance. In a previous communication with the Spring Valley village attorney's office regarding the FAR exemption for basements, this department noted that a residential FAR requirement that does not incorporate all residential living space is ill-conceived. This project, and the current application, reinforces this statement. The purpose of placing restrictions on FAR, like that of other bulk requirements, is to limit the land use impacts of a project. The land use impacts of the original proposal and the current application are essentially unchanged, demonstrating that allowing the basement exemption to the FAR requirement masks the extent of those impacts and renders the requirement pointless. The village must re-evaluate how FAR is calculated and consider amending the zoning regulations to incorporate all living spaces within the residential FAR requirement, as this would more accurately represent the actual land use impacts of a proposal.

6 STANLEY PLACE (SV-887A)

2 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. This property has already received substantial area variances. The lot area is 93% of the required minimum. The lot width along Valley View Terrace is 94% of the minimum. The two front yards are deficient by 20%. The side yard is deficient by 33% and the rear yard is deficient by 25%. The currently proposed variance of floor area ratio exceeds the maximum standard by 40%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development.

3 The Town of Ramapo is one of the reasons this proposal was referred to this department for review. The municipal boundary is approximately 355 feet to the east of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

4 The application form indicates the property receives water service from United Water. The form must be corrected to Suez.

5 The applicant must comply with all comments made by the Rockland County Sewer District No. 1 in their letter of February 24, 2020.

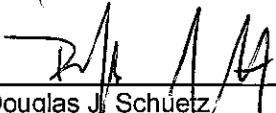
6 As shown, the proposed residential building may require a variance from the New York State Uniform Fire Prevention and Building Code since a deck is located closer than ten feet to the property line.

7 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code raised in the Executive Deputy Secretary of State's letter of July 15, 2016, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code.

8 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

6 STANLEY PLACE (SV-887A)

9 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz,
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
New York State Department of State
Rockland County Department of Health
Rockland County Drainage Agency
Rockland County Sewer District #1

Anthony R. Celentano P.E.
Town of Ramapo Planning Board

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center

50 Sanatorium Road, Building T

Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz

Acting Commissioner

Arlene R. Miller

Deputy Commissioner

February 25, 2020

Spring Valley Zoning Board of Appeals

200 N. Main Street

Spring Valley, NY 10977

Tax Data: 50.53-1-15

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 11/20/2019

Date Review Received: 1/29/2020

Item: *14 ELENER LANE (SV-994)*

A variance application to allow the construction of a two-family dwelling on 0.21 acres in the R-1A zoning district. Variances are requested for lot width, side yard, and total side yard.

The southern side of Elener Lane, approximately 175 feet east of North Rigaud Road

Reason for Referral:

Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

**Recommend the following modifications*

1. Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. The proposed lot width is 92% of the required minimum. The side and total side yards are deficient by 33%. The ability of the existing infrastructure to accommodate increased residential density on undersized parcels is a countywide concern and must be evaluated. This evaluation must consider whether local roads will become more congested and the sewer system, stormwater management systems and the public water supply will be overburdened. The Village must consider the cumulative and regional impacts of permitting such development. The size of the building must be reduced so that the side yard and total side yards are compliant.

14 ELENER LANE (SV-994)

2 The Town of Ramapo is the reason this proposal was referred to this department for review. The municipal boundary is approximately 325 feet west of the parcel. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and countywide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner that is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

3 There are discrepancies between the site plan and the architectural plans that were provided by Hartman Design, dated January 12, 2020. Two rear decks are depicted on the architectural plans but are not indicated on the site plan. The architectural plans depict a building jog along each side wall of the structure, set back approximately 16 feet from the front façade. The site plan appears to indicate building jogs approximately 24 feet from the front façade. The site plan indicates there are two side entries with staircases and an 8'x8' entry platform that are not depicted in the architectural plans. Lastly, there are two front projections indicated on the site plan that are not in the same configuration as those depicted in the architectural plans. All materials must be consistent. The applicant must clarify their intentions and correct these discrepancies, and if required, additional variances sought.

4 The front projections, as depicted in the architectural plans, consist of enclosed living space and do not fall under the yard exemption of Section 255.22.C of the village's zoning regulations. The site plan must be amended to measure the front yard distance from the property line to these projections. If a variance of the front yard is required, the application must be revised and resubmitted for review and a new public hearing notice must be issued.

5 The architectural plans provided are not to-scale. To-scale drawing must be provided.

6 A review must be completed by the Rockland County Department of Health to ensure compliance with Article XIX (Mosquito Control) of the Rockland County Sanitary Code.

7 A review must be completed by the County of Rockland Sewer District No. 1 and all required permits obtained from them.

8 Public sewer mains requiring extensions within a right-of-way or an easement shall be reviewed and approved by the Rockland County Department of Health prior to construction.

9 A turnaround area must be provided to prevent vehicles from backing into the roadway.

10 The application form indicates the property receives water service from United Water. The form must be corrected to Suez.

14 ELENER LANE (SV-994)

11 The NYS Department of State has determined that the Village is not administering or enforcing the State Uniform Fire Prevention and Building Code in accordance with minimum standards set forth in 19 NYCRR part 1203. Given the concerns about the Village's administration and enforcement of the State Uniform Fire Prevention and Building Code initially raised in the Executive Deputy Secretary of State's letter of July 15, 2016, and subsequently again in December 18, 2017, the proposed residential building must be held to the requisite minimum standards and comply with all requirements of this code.

12 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

13 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Mayor Alan Simon, Spring Valley
Rockland County Department of Health
Rockland County Sewer District #1
New York State Department of State

Anthony R. Celentano P.E.
Town of Ramapo Planning Board

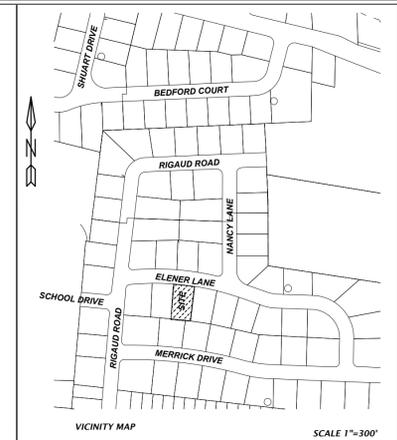
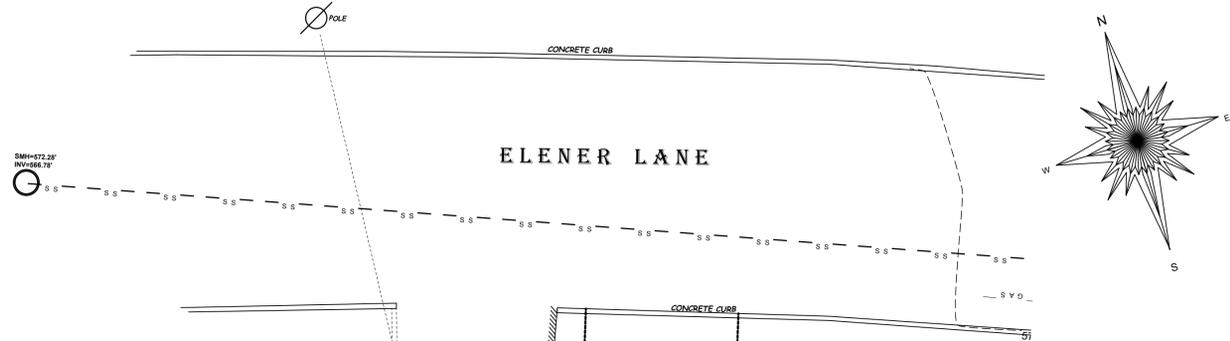
**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

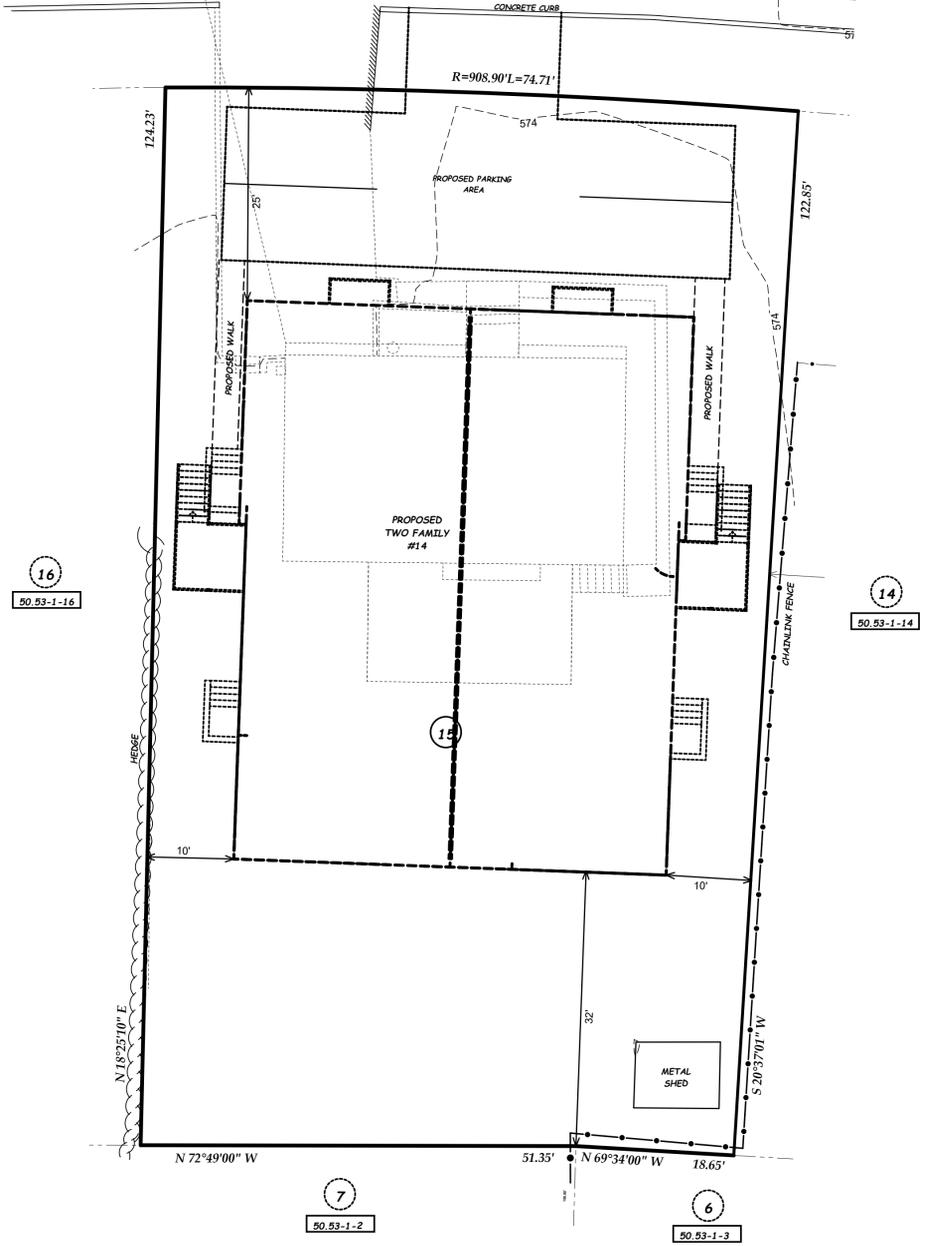
In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.



- 1) ELECTRIC DISTRICT: ORANGE AND ROCKLAND
- 2) SEWER DISTRICT: RCDSD#1
- 3) WATER DISTRICT: SUEZ
- 4) FIRE DISTRICT: SPRING VALLEY
- 5) AMBULANCE DISTRICT: SPRING HILL
- 6) POLICE DISTRICT: SPRING VALLEY
- 7) SCHOOL DISTRICT: EAST RAMAPO



**ZONE: R-1A TWO-FAMILY DWELLING
BULK REQUIREMENTS**

USE GROUP	MINIMUM LOT AREA (SQ. FEET)	LOT WIDTH (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	REAR YARD (FEET)	TOTAL SIDE YARD (FEET)	MAXIMUM BUILDING HEIGHT	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO (FAR)	PARKING
REQ. C	8,500 SF	80'	25'	15'	20'	30'	35'	3 STORIES	0.65	4
PROV. C	8,944 SF	73.76'	25'	10'	32'	20'	<35'	3 STORY	0.65	4

* - VARIANCE REQUIRED



TAX MAP DESIGNATION: 50.53-1-15

**PROPOSED
TWO
FAMILY FOR
14 ELENER LN.**

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
NOVEMBER 20, 2019 SCALE: 1" = 10'



ANTHONY R. CELENTANO P.E.
31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974

Anthony R. Celetano LIC#76244

LOT AREA=8,944.26 SQUARE FEET
BEING LOT 15 BLOCK C ON A CERTAIN MAP ENTITLED
"SECTION 2, KINOREE SUBDIVISION OWNED BY
ELMWOOD HEIGHTS, INC., VILLAGE OF SPRING VALLEY,
ROCKLAND COUNTY, NEW YORK"
FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE
AS MAP #2812 BOOK #62 PAGE #22 ON 10/31/1960.

RYAN KARBEN
ATTORNEY-AT-LAW
11 TARA DRIVE
POMONA, NEW YORK 10970

(914) 536-4402 (TEL.)·(845) 503-2193 (FAX)
RYAN@RYANKARBEN.COM

May 14, 2020

Hon. Moshe Hopstein, Chairman
Zoning Board of Appeals
Village of Spring Valley
200 North Main Street
Spring Valley, New York 10977

Re: 14 Elener Lane

Dear Chairman Hopstein:

This office is counsel with respect to the above referenced application to the Zoning Board of Appeals of the Village of Spring Valley.

As part of the Zoning Board of Appeals' review, it considers a February 25, 2020 review conducted by the Rockland County Department of Planning, purportedly pursuant Sections 239 L & M of the General Municipal Law. The statutory purposes of said review is to address regional and countywide planning concerns based on the project's impacts on the Town of Ramapo. No such impacts on are noted. Notwithstanding the foregoing, said review addresses areas outside of its permitted of scope under the General Municipal Law and Village Law and outside the balancing test required to be applied by the Zoning Board of Appeals and therefore impermissible for consideration.

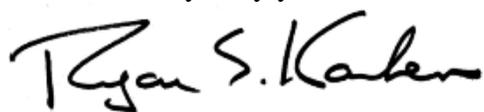
With respect to Comment 1, this is a use permitted by right in the zone consistent with the density and style of homes in the neighborhood. Sufficient on-site parking is provided, zero net runoff will be complied with and there is adequate public water and sewer capacity. The applicant will pay any sewer impact fee. As such, these comments and requests do not accurately reflect the character of the community and should be overridden. In evaluating the variances, the Board should also note the benefits to community character, including fire sprinklers, improved landscaping, lighting and curbing and modern, energy efficient and less combustible building materials, as well as the urgent need for additional housing to accommodate an array of family types. None of the considerations under the balancing test that sustained the original variances request have changed. **Override requested.**

With respect to Comment 2, the Town of Ramapo was notified and provided the opportunity to comment upon the application.

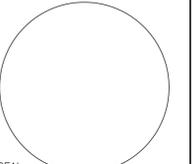
With respect to Comments 3 and 4, the plans have been corrected.

With respect to Comment 9, a turnaround is provided. **Override requested.**

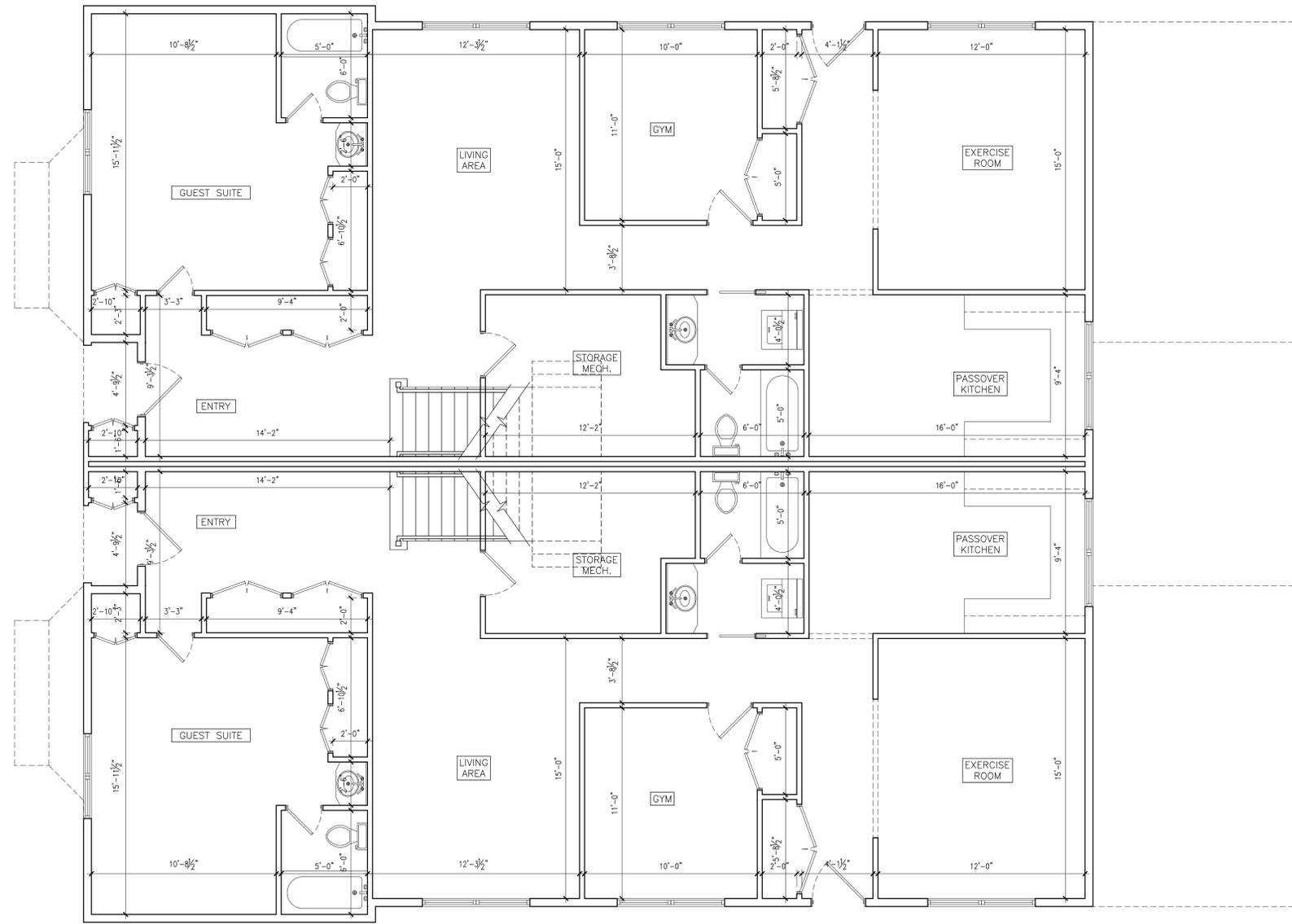
Very truly yours,

A handwritten signature in black ink that reads "Ryan S. Karben". The signature is written in a cursive style with a large, prominent "R" at the beginning.

RYAN KARBEN



SEAL
LICENSE NO: 42302

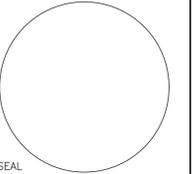


1 BASEMENT FLOOR PLAN
A-102 SCALE: 1/4" = 1'-0"

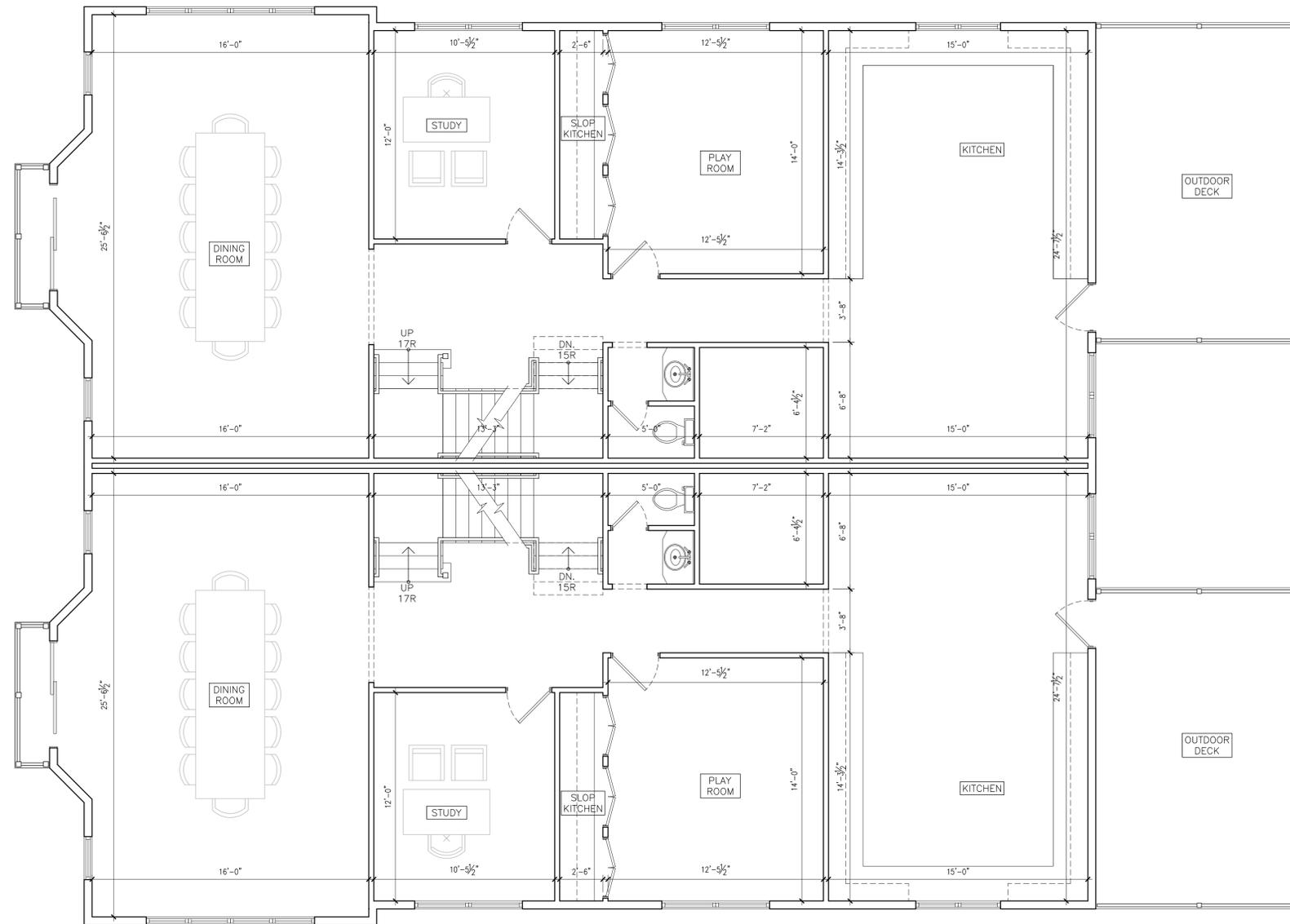
PROPOSED RESIDENCE FOR:
14 ELENER LANE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

Project No. ---101
Drawn By: LH
Reviewed By: PS
Date JAN. 13, 2020

A-102



SEAL
LICENSE NO: 42302

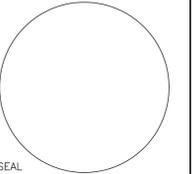


1 FIRST FLOOR PLAN
A-103 SCALE: 1/4" = 1'-0"

PROPOSED RESIDENCE FOR:
14 ELENER LANE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

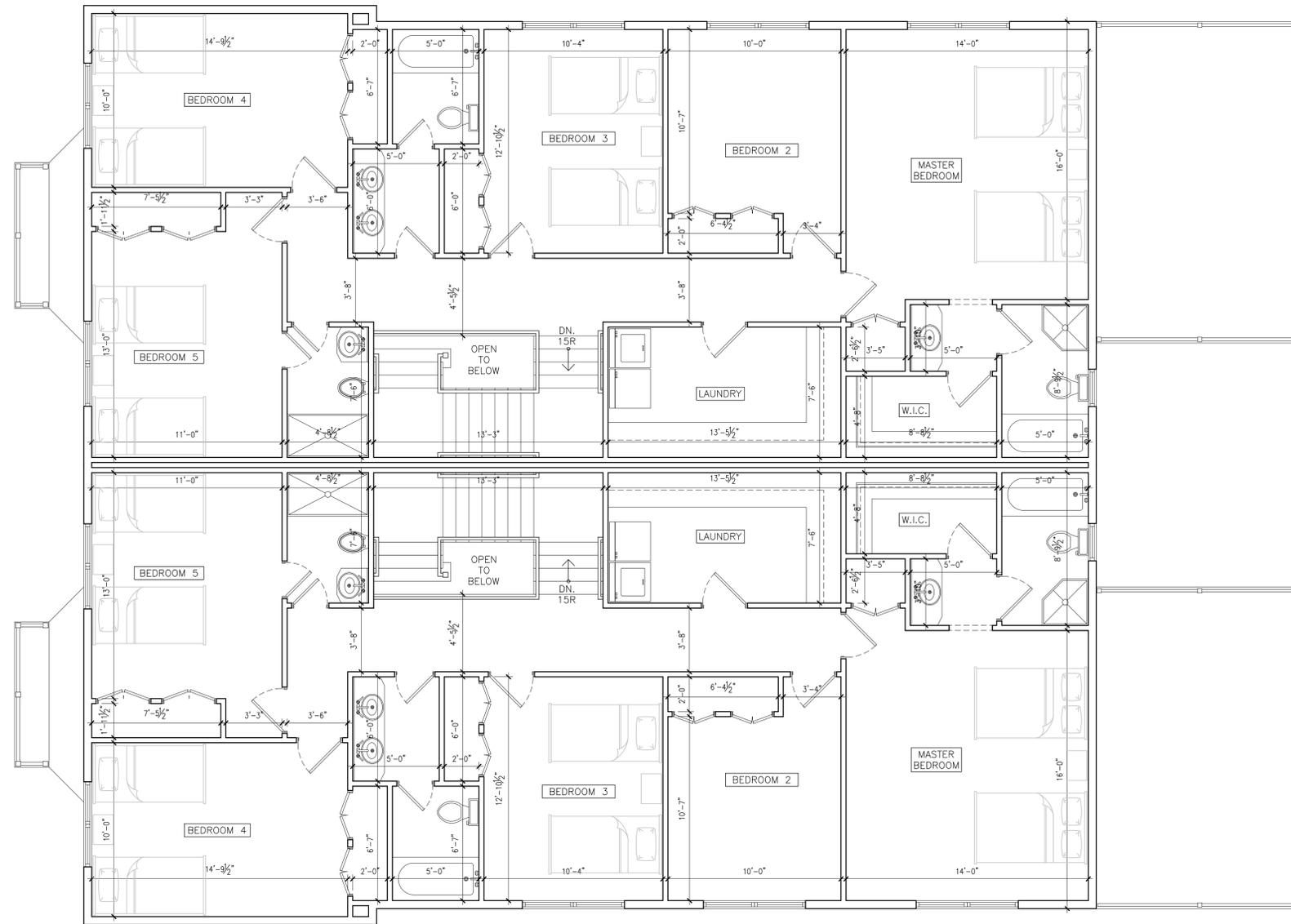
Project No. ---101
Drawn By: LH
Reviewed By: PS
Date JAN. 13, 2020

A-103



SEAL

LICENSE NO: 42302

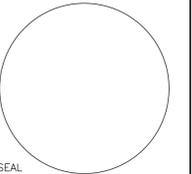


1 SECOND FLOOR PLAN
A-104 SCALE: 1/4" = 1'-0"

PROPOSED RESIDENCE FOR:
14 ELENER LANE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

Project No. --101
Drawn By: LH
Reviewed By: PS
Date JAN 15, 2020

A-104



SEAL
LICENSE NO: 42302

PROPOSED RESIDENCE FOR:
14 ELENER LANE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

Project No. --101
Drawn By: LH
Reviewed By: PS
Date JAN 13, 2020

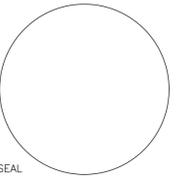
A-201



1 FRONT ELEVATION
A-201 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
A-201 SCALE: 3/16" = 1'-0"



SEAL
LICENSE NO: 42302

PROPOSED RESIDENCE FOR:
14 ELENOR LANE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

Project No. ---101
Drawn By: LH
Reviewed By: PS
Date: JAN. 12, 2020

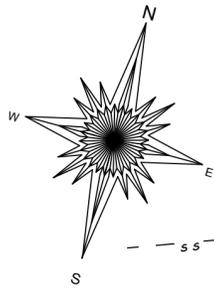
A-202



1 LEFT ELEVATION
A-202 SCALE: 1/4" = 1'-0"

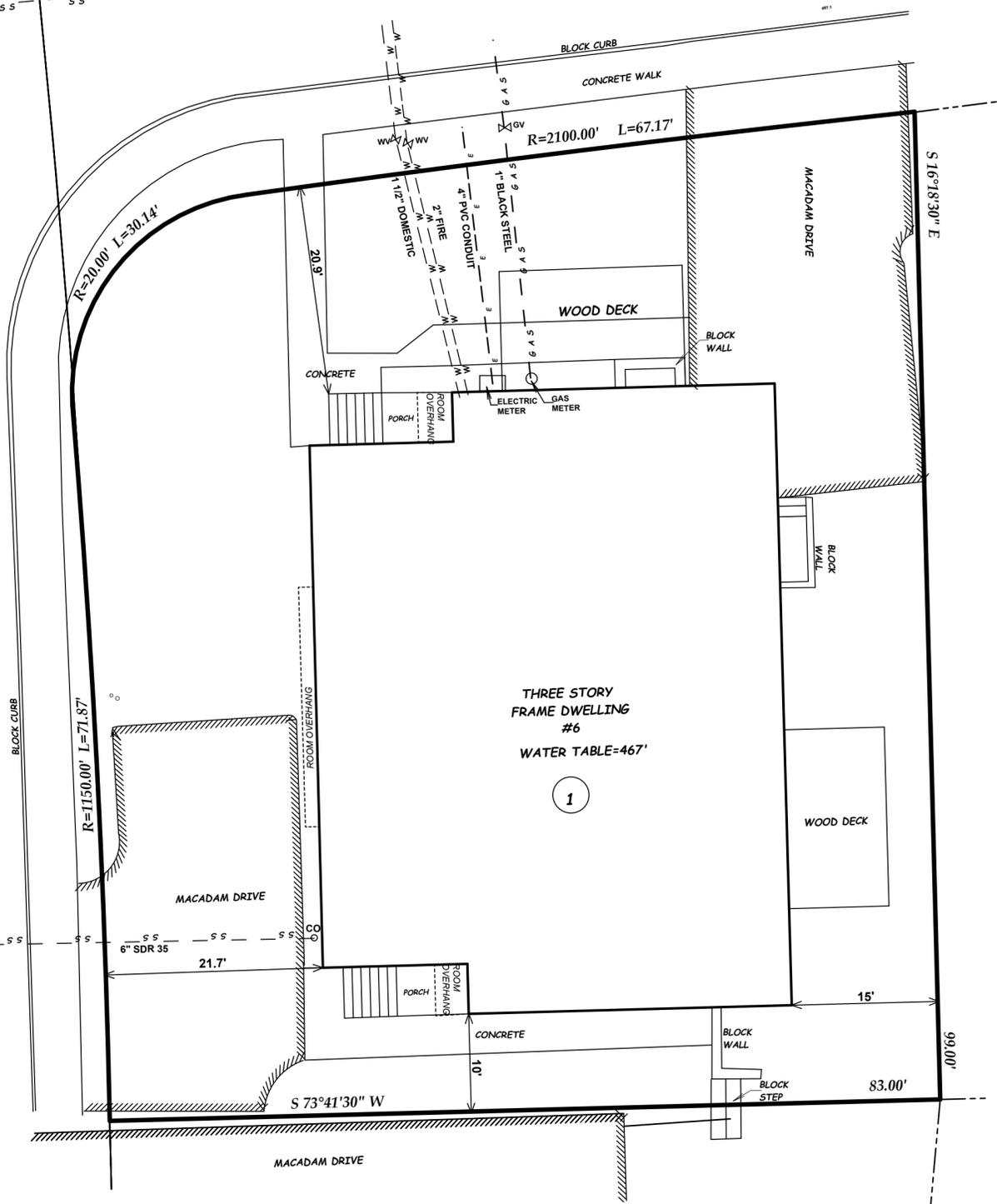


2 REAR ELEVATION
A-202 SCALE: 1/4" = 1'-0"



VALLEY VIEW TERRACE

STANLEY PLACE



VICINITY MAP

SCALE 1"=300'

- NOTES:
1. TAX MAP NUMBER- MAP 50.62-1-22
 2. APPLICANT:
6 STANLEY LLC
6 STANLEY PL
SPRING VALLEY, NY 10977
 3. OWNER: SAME AS APPLICANT
 4. TOTAL AREA= 7,899 SQUARE FEET = 0.18 ACRES
 5. TOTAL NUMBER OF LOTS 1
 6. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED IN SECTION 239N OF THE GENERAL MUNICIPAL LAW WHEN APPLICABLE.
 7. INFORMATION REGARDING PLAT REVIEW, APPROVAL, AND DETAILS IS AVAILABLE IN THE SPRING VALLEY PLANNING BOARD FILES.
 8. PROPERTY IS NOT LOCATED IN FLOOD PLAIN OVERLAY DISTRICT

- 1) ELECTRIC DISTRICT: ORANGE AND ROCKLAND
- 2) SEWER DISTRICT: RCD#1
- 3) WATER DISTRICT: SUEZ
- 4) FIRE DISTRICT: SPRING VALLEY
- 5) AMBULANCE DISTRICT: SPRING HILL
- 6) POLICE DISTRICT: SPRING VALLEY
- 7) SCHOOL DISTRICT: EAST RAMAPO

3
50.62-1-21

4
50.62-1-24

2
50.62-1-23

TAX MAP DESIGNATION: 50.62-1-22
PROPOSED PLAN FOR
6 STANLEY PL.

TOWN OF RAMAPO, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 JANUARY 7, 2020 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.E.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

Anthony R. Celentano LIC#76244

BULK REQUIREMENTS ZONE: R-1A TWO FAMILY DETACHED DWELLING

	USE GROUP	MINIMUM LOT AREA (SQUARE FEET)	LOT WIDTH VALLEY (FEET)	LOT WIDTH STANLEY (FEET)	FRONT YARD VALLEY (FEET)	FRONT YARD STANLEY (FEET)	SIDE YARD (FEET)	REAR YARD (FEET)	TOTAL SIDE YARD (FEET)	MAXIMUM BUILDING HEIGHT	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO (FAR)	PARKING	STREET FRONTAGE
REQUIRED	C	8,500 SF	90'	90'	25'	25'	15'	20'	30'	35'	3 STORIES	0.65	4	70'
PROVIDED	C	7899 SF*	85"	93'	20"	20"	10"	15"	N/A	<35'	<3 STORY	0.65	4	169.19'

** VARIANCE REQUIRED
 * VARIANCE GRANTED ON 5/23/18

LOT AREA 7,899 SQUARE FEET
 BEING LOT 1 BLOCK F ON A CERTAIN MAP ENTITLED
 "SECTION TWO VALLEY VIEW ESTATES"
 FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE
 AS MAP #2257 BOOK #54 PAGE #62 ON 9/15/1953

NOTE:
 "IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY."
 "ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL ARE THE PRODUCT OF THE LAND SURVEYOR."
 "THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSES AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT."
 THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
 EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.

RYAN KARBEN
ATTORNEY-AT-LAW
11 TARA DRIVE
POMONA, NEW YORK 10970

(914) 536-4402 (TEL.)·(845) 503-2193 (FAX)

RYAN@RYANKARBEN.COM

May 14, 2020

Hon. Moshe Hopstein, Chairman
Zoning Board of Appeals
Village of Spring Valley
200 North Main Street
Spring Valley, New York 10977

Re: 6 Stanley Place

Dear Chairman Hopstein:

This office is counsel with respect to the above referenced application to the Zoning Board of Appeals of the Village of Spring Valley.

As part of the Zoning Board of Appeals' review, it considers a March 19, 2020 review conducted by the Rockland County Department of Planning, purportedly pursuant Sections 239 L & M of the General Municipal Law. The statutory purposes of said review is to address regional and countywide planning concerns based on the project's impacts on the Town of Ramapo and Pascack Brook. No such impacts on are noted. Notwithstanding the foregoing, said review addresses areas outside of its permitted of scope under the General Municipal Law and Village Law and outside the balancing test required to be applied by the Zoning Board of Appeals and therefore impermissible for consideration.

Outrageously, Comment 1 seeks to use the limited scope of Section 239 of the General Municipal Law to impose a sweeping and illegal mandate on the Village of Spring Valley to "recalculate how FAR is calculated." The County further opines that allowing living space in the area excluded from the FAR is "ill conceived", though it is the Code of the Village. Neither of these items- the configuration of an individual's basement nor the legal exercise of the statutory authority of the Village to interpret its own Code are the business of the County of Rockland. It is a separate government, not a super government and it cannot use the vehicle of this review to attempt to seize control of the Village of Spring Valley's land use process and vitiate the home rule standards that are the hallmark of state zoning law. Nothing in the Comment pertains to the balancing test standard for the requested variance which is met by the applicant insofar as granting the revised variance for the already approved project will have no meaningful impact on the surrounding properties. **Override requested.**

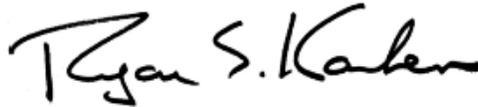
With respect to Comment 2, this is a use permitted by right in the zone consistent with the density and style of homes in the neighborhood. Sufficient on-site parking is provided, zero net runoff will be complied with and there is adequate public water and sewer capacity. The applicant will pay any sewer impact fee. As such, these comments and requests do not accurately reflect the character of the community and should be overridden. In evaluating the variances, the

Board should also note the benefits to community character, including fire sprinklers, improved landscaping, lighting and curbing and modern, energy efficient and less combustible building materials, as well as the urgent need for additional housing to accommodate an array of family types. None of the considerations under the balancing test that sustained the original variances request have changed. **Override requested.**

With respect to Comment 3, the Town of Ramapo was notified and provided the opportunity to comment upon the application.

With respect to Comment 6, no variance from the Fire Code will be required.

Very truly yours,

A handwritten signature in black ink that reads "Ryan S. Karben". The signature is written in a cursive style with a large initial "R" and "K".

RYAN KARBEN



Step by Step Guidance from Planning ... to Reality

February 13, 2020

To: Zoning Board of Appeals

Re: 4-6 Stanley Ave
Spring Valley NY 10977

SUBJECT: Narrative

Enclosed are applications for Tax Lot 50.62-1-22&23. The project is located at 4&6 Stanley Ave, Spring Valley, NY 10977. The applicant completed Construction for a two family dwelling on each lot.

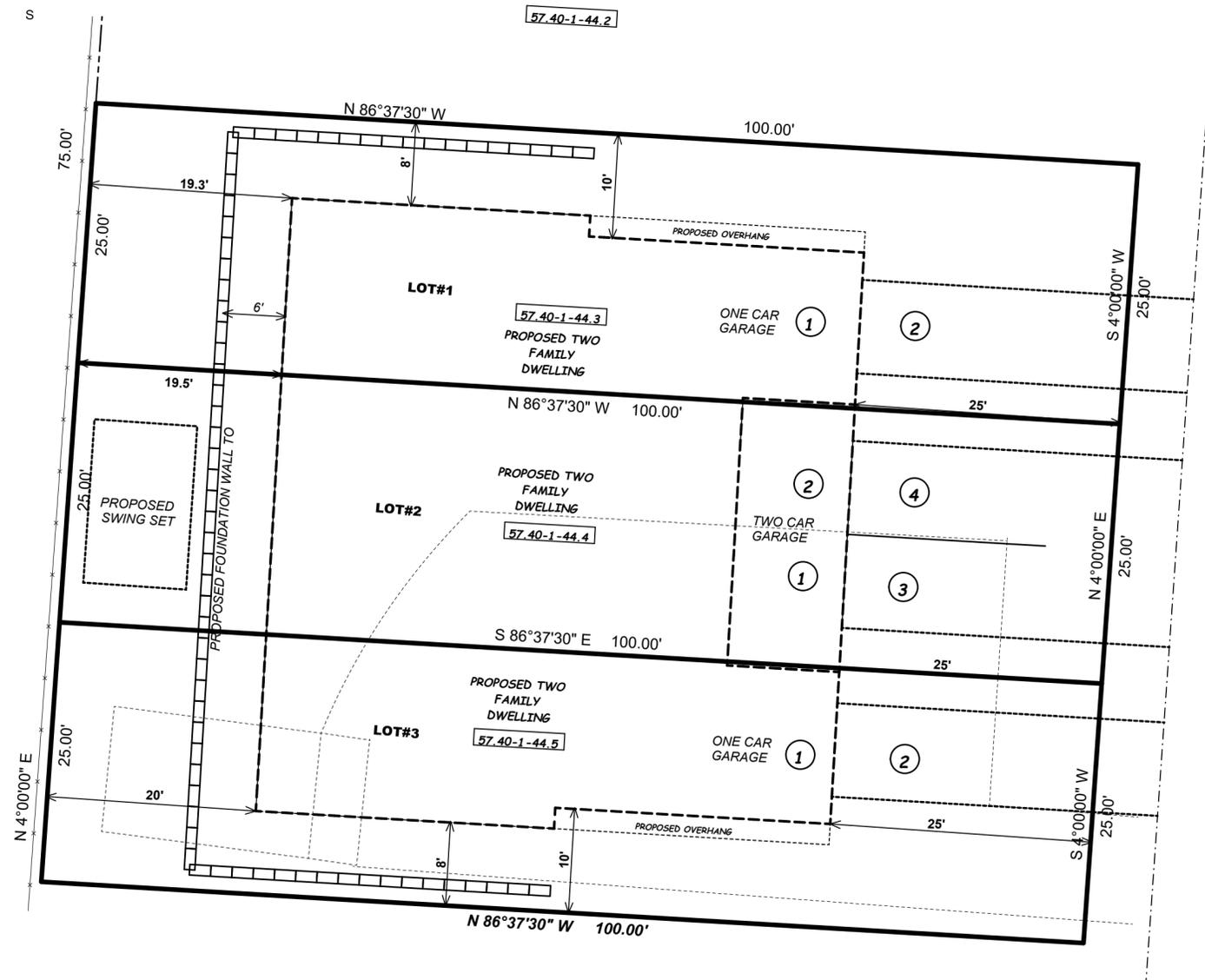
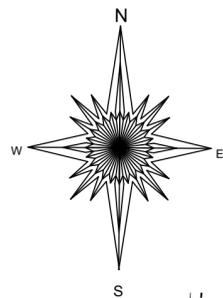
This project was originally approved by the Zoning board on December 12, 2018. With respect to the GML letter dated May 9, 2018, the board voted to override comments 1, 3, 6, and 9. With respect to comment 2, the Town of Ramapo was giving the opportunity to comment. With respect to Comment 4, the info has been corrected. With respect to comment 5, the site plan notes have been added. With respect to comment 7, the applicant is complying with the health department letter dated 2.22.18. With respect to comment 8, a review was completed by RC Sewer District, and the applicant is complying with that. With respect to comments 10, 11, and 12, the comments are so noted.

The reason for returning to the ZBA is as follows;

In order for a story to be considered a basement and not count towards the Floor Area Ration, the following needs to be met.

- A. Basement shall be less than six feet from grade to finished first floor.
- B. basement ceiling height shall not exceed 7'6".

During construction, as the foundation was being poured, the applicant went down to the proposed footing height level & hit ground water, which would have caused footings being below the water table. So, we poured thicker footings, raised the walls & filled it with new dry compacted fill & that automatically raised our Basement floor. As a result, the basement is now more than six feet above grand now counts towards the Floor Area Ratio calculation, and a variance for FAR is now required. However, the ceiling height did remain at 7'6".



LAFAYETTE STREET

- NOTES:**
- TAX MAP NUMBER- MAP 57.40-1-44.3, 57.40-1-44.4, & 57.40-1-44.5
 - APPLICANT:
LUCRATIVE LLC & VALUABLE LLC
9-13 LAFAYETTE
SPRING VALLEY, NY 10977
 - OWNER: SAME AS APPLICANT
 - TOTAL AREA= 7,500 SQUARE FEET = 0.17 ACRES
 - TOTAL NUMBER OF LOTS 3
 - THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED IN SECTION 239L, M & N OF THE GENERAL MUNICIPAL LAW WHEN APPLICABLE.
 - INFORMATION REGARDING PLAT REVIEW, APPROVAL, AND DETAILS IS AVAILABLE IN THE SPRING VALLEY PLANNING BOARD FILES.
 - PROPERTY IS NOT LOCATED IN FLOOD PLAIN OVERLAY DISTRICT



- ELECTRIC DISTRICT: ORANGE AND ROCKLAND
- SEWER DISTRICT: RCSD#1
- WATER DISTRICT: SUEZ
- FIRE DISTRICT: SPRING VALLEY
- AMBULANCE DISTRICT: SPRING HILL
- POLICE DISTRICT: SPRING VALLEY
- SCHOOL DISTRICT: EAST RAMAPO

LOT AREA=7,500 SQUARE FEET
TAX MAP DESIGNATION: 57.40-1-44.3,
57.40-1-44.4 & 57.40-1-44.5

**PROPOSED 6
FAMILIES FOR
LUCRATIVE LLC**

TOWN OF CLARKSTOWN, ROCKLAND COUNTY
VILLAGE OF SPRING VALLEY, NEW YORK
SEPTEMBER 17, 2019 SCALE : 1" = 10'

ANTHONY R. CELENTANO P.E.
31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974
Anthony R. Celentano LIC#76244

**ZONE: R-2
BULK REQUIREMENTS TWO FAMILY ATTACHED DWELLING**

USE GROUP C	MIN. LOT AREA	LOT WIDTH	MINIMUM FRONT DEPTH	SIDE YARD	REAR YARD	TOTAL SIDE YARD	MAXIMUM NUMBER OF STORIES	MAXIMUM HEIGHT	FLOOR AREA RATIO	STREET FRONTAGE	PARKING
REQUIRED	10,000	100'	25'	15'	20'	30'	3	35'	0.65	70'	4
LOT#44.3	2,500 S.F.*	25"	25'	0"	19.3"	8"	3	<35'	0.65	25"	2"

* - VARIANCE REQUIRED

**ZONE: R-2
BULK REQUIREMENTS TWO FAMILY ATTACHED DWELLING**

USE GROUP C	MIN. LOT AREA	LOT WIDTH	MINIMUM FRONT DEPTH	SIDE YARD	REAR YARD	TOTAL SIDE YARD	MAXIMUM NUMBER OF STORIES	MAXIMUM HEIGHT	FLOOR AREA RATIO	STREET FRONTAGE	PARKING
REQUIRED	10,000	100'	25'	15'	20'	30'	3	35'	0.65	70'	4
LOT#44.4	2,500 S.F.*	25"	25'	0"	19.5"	0"	3	<35'	0.65	25"	4

* - VARIANCE REQUIRED

**ZONE: R-2
BULK REQUIREMENTS TWO FAMILY ATTACHED DWELLING**

USE GROUP C	MIN. LOT AREA	LOT WIDTH	MINIMUM FRONT DEPTH	SIDE YARD	REAR YARD	TOTAL SIDE YARD	MAXIMUM NUMBER OF STORIES	MAXIMUM HEIGHT	FLOOR AREA RATIO	PARKING	STREET FRONTAGE	PARKING
REQUIRED	10,000	100'	25'	15'	20'	30'	3	35'	0.65	4	70'	4
LOT#44.5	2,500 S.F.*	25"	25'	0"	20'	8"	3	<35'	0.65	4	25"	2"

* - VARIANCE REQUIRED

PROPOSED TWO FAMILY RESIDENCE FOR:

21 COLLINS AVENUE

21 COLLINS AVENUE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK
SEC.-BLK.-LOT 57.37-1-34

INDEX

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A-102	FIRST FLOOR PLAN
A-103	SECOND FLOOR PLAN
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A-201	FRONT AND REAR ELEVATION
A-202	LEFT AND RIGHT ELEVATION
SP-01	DETAILS SPECIFICATIONS
SP-02	SPECIFICATIONS
E-101	ELECTRICAL PLANS
TJI-01	TJI DETAILS

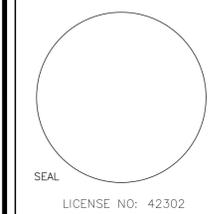
RELEASE DATE: _____

10-31-2019



COMMERCIAL • RESIDENTIAL

412 N. MAIN STREET, SUITE 301
MONROE NY 10950 845-781-4222
LARRY@LHARTMANDESIGN.COM



PROPOSED TWO FAMILY RESIDENCE FOR:
21 COLLINS AVE
 VILLAGE OF SPRING VALLEY
 ROCKLAND COUNTY, NEW YORK

Project No. 2019101
 Drawn By: LH
 Reviewed By: PS
 Date: Oct 31, 2019

Revisions:

A-101

WALL LEGEND

2x4 OR 2x6 WALL BEARING PARTITION

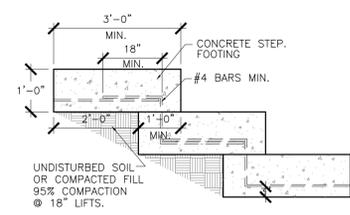
NEW 2x4 WALL FOR INTERIOR AND 2x6 FOR EXTERIOR

■ - WOOD POST IN A WALL

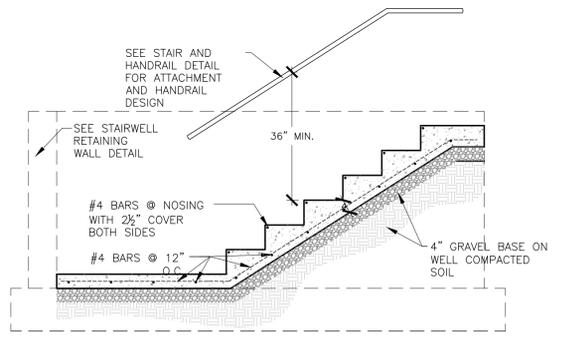
□ - POINT LOAD FROM ABOVE

⊕ - HARD WIRED SMOKE DETECTOR CEILING MOUNTED

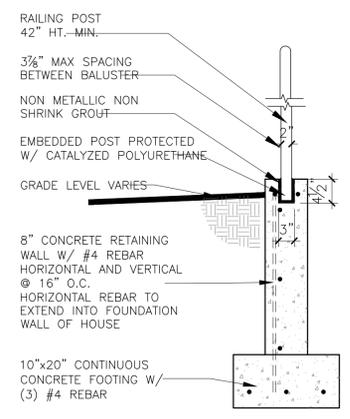
⊙ - CARBON MONOXIDE DETECTOR CEILING MOUNTED



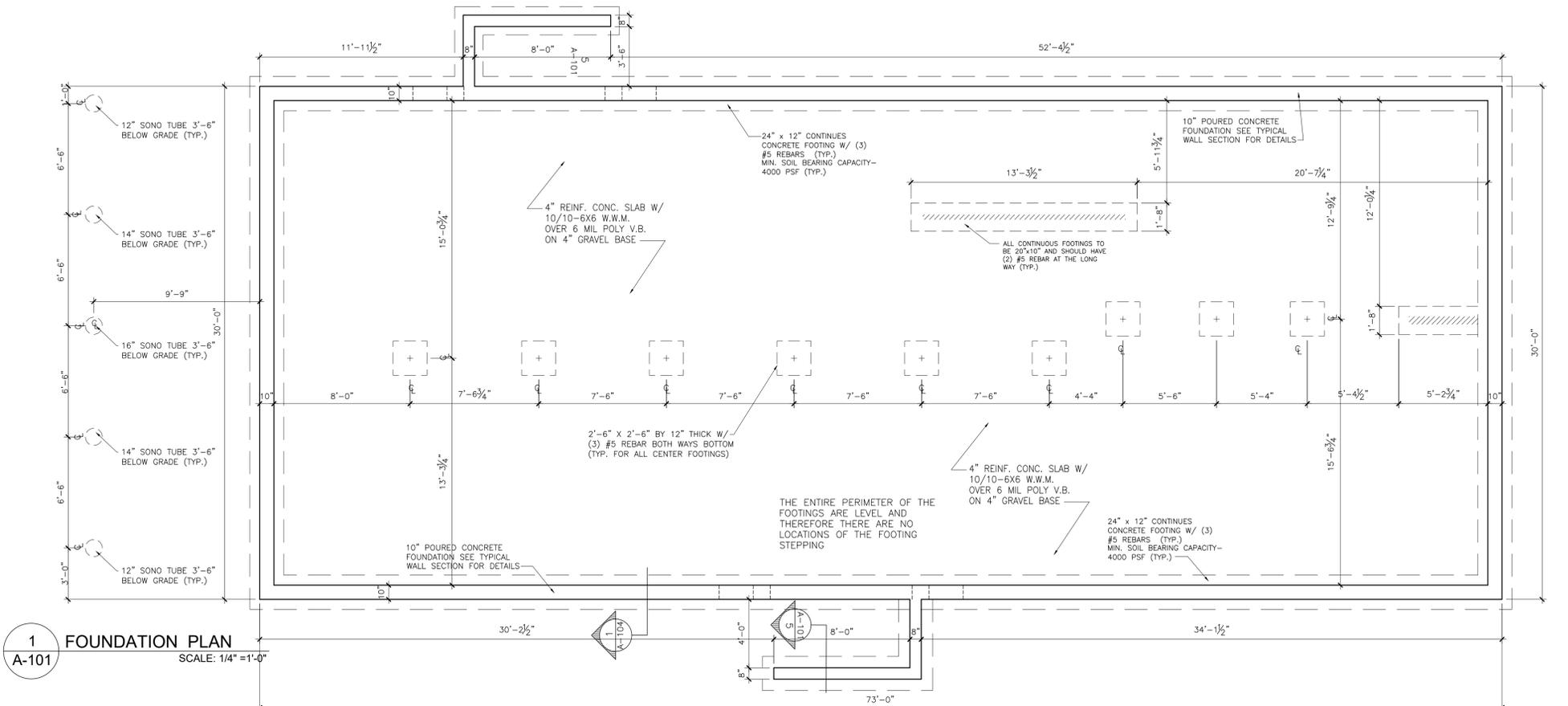
3 STEPPED FOOTING DETAIL
A-101 SCALE: 1/2" = 1'-0"



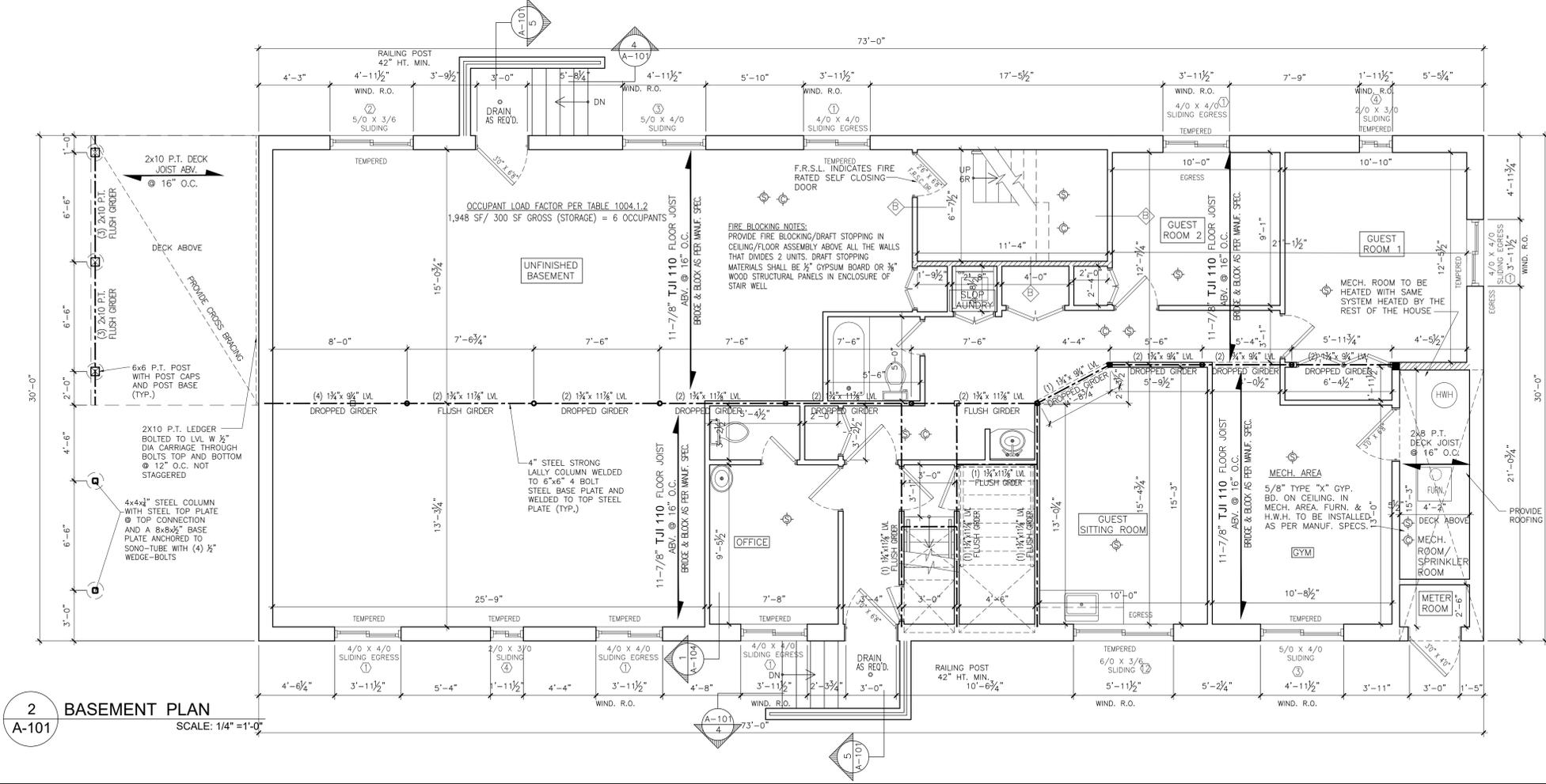
4 EXTERIOR STAIR DETAIL
A-101 SCALE: 1/2" = 1'-0"



5 EXT. STAIR RETAINING WALL DETAIL
A-101 SCALE: 3/4" = 1'-0"

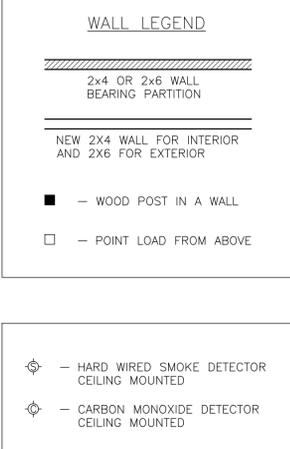
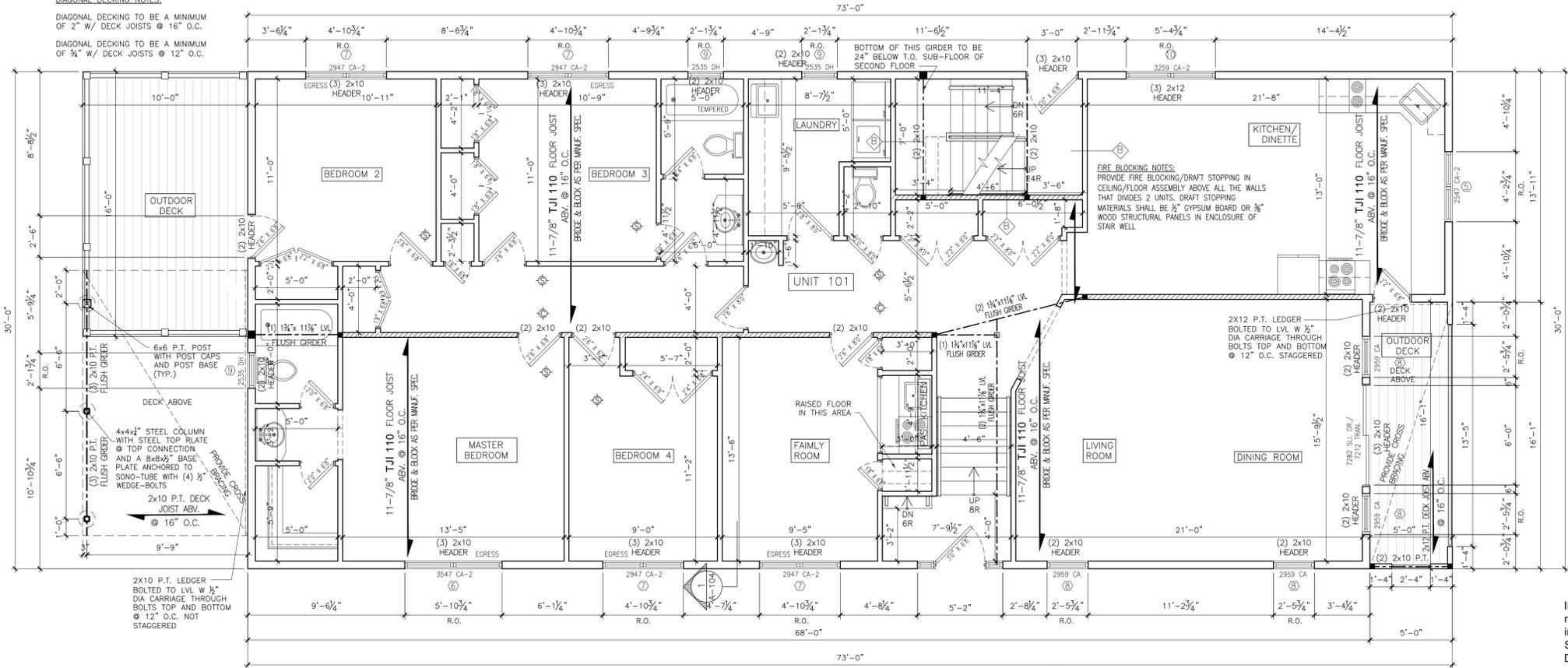


1 FOUNDATION PLAN
A-101 SCALE: 1/4" = 1'-0"



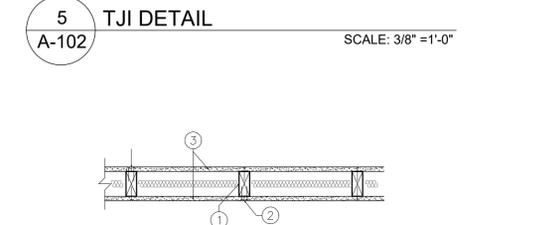
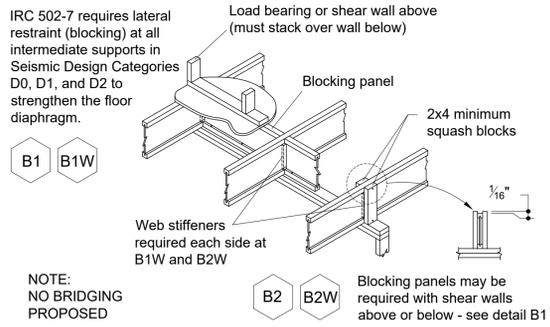
2 BASEMENT PLAN
A-101 SCALE: 1/4" = 1'-0"

DIAGONAL DECKING NOTES:
DIAGONAL DECKING TO BE A MINIMUM OF 2" W/ DECK JOISTS @ 16" O.C.
DIAGONAL DECKING TO BE A MINIMUM OF 1/2" W/ DECK JOISTS @ 12" O.C.



FRAMING NOTES:

- ALL POSTS WITHIN A WALL TO HAVE AT LEAST 1 2x FOR EACH LVL IN BEAM ABOVE AND A MIN. OF 3
- ALL FLUSH BEAMS TO BE ATTACHED TO PERPENDICULAR BEAMS AND JOISTS WITH PROPER FULL HEIGHT SIMPSON STRONG-TIE HANGERS
- ALL DECK LUMBER TO BE PRESSURE TREATED
- PROVIDE DOUBLE JACK STUDS UNDER ALL HEADERS THAT ARE 48" LONG OR LONGER



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

BLOWER DOOR AND DUCT LEAKAGE NOTE:
A CERTIFIED PROFESSIONAL THIRD PARTY SHALL PERFORM A BLOWER DOOR TEST AND DUCT LEAKAGE TEST AND A REPORT/ CERTIFICATION SHALL BE PROVIDED TO THE BUILDING DEPARTMENT ACCORDING TO SECTION R402.4.1.2 OF THE IECC PRIOR TO ISSUANCE OF A C O O

SOIL NOTES:

- SOIL TO HAVE A CAPACITY OF 4,000 PSF
- CONTRACTOR TO CONTACT ENGINEER IF QUESTIONABLE SOILS ARE UNCOVERED DURING EXCAVATION AND A SOIL BEARING CAPACITY TEST FROM A QUALIFIED THIRD-PARTY TESTING AGENCY SHALL BE DONE TO VERIFY SOIL HAS A 4,000 PSF CAPACITY

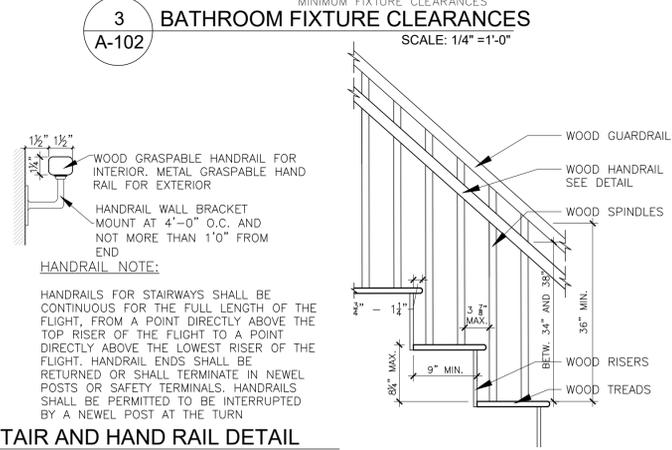
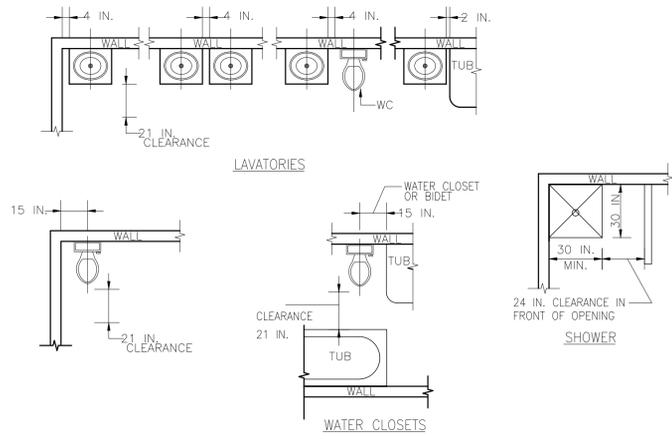
WINDOW AND DOOR SCHEDULE
PROVIDE TEMPERED GLAZING IN THE FOLLOWING...

ALL GLAZING IN DOORS
ALL WINDOWS WITH BOTTOM EDGE LESS THAN 18" A.F.F.
ALL WINDOWS OVER HOT TUBS, BATHS, ECT...
ALL WINDOWS IN STAIRWAYS OR STAIRWAY LANDINGS
CONTRACTOR TO CHECK WITH WINDOW MANUFACTURER REP. TO VERIFY WINDOWS THAT REQUIRE TEMPER GLASS.
CONTRACTOR TO VERIFY WINDOW QUANTITY AND DESIGNATION BEFORE ORDERING WINDOWS.

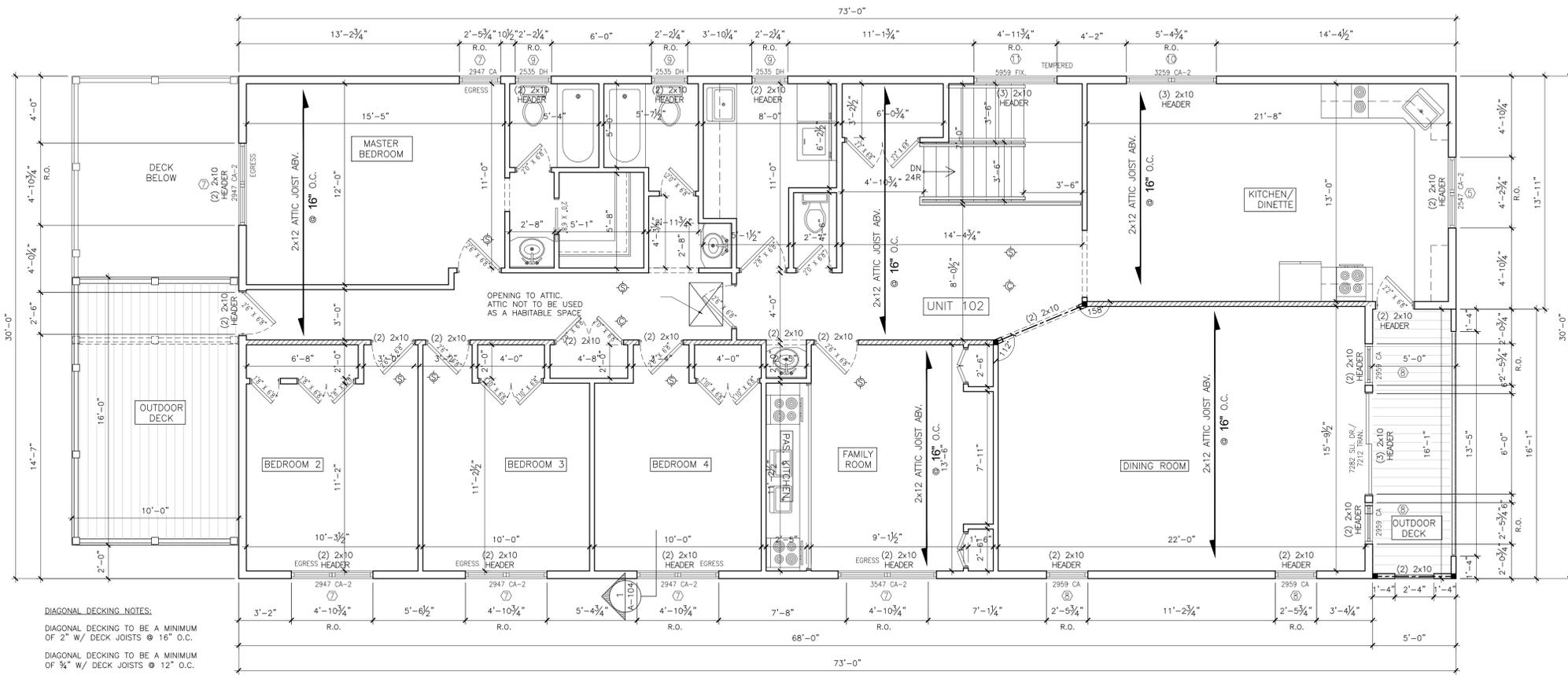
WIN. #	QNTY.	DESIGNATION	VENT SQ. FT.	GLASS SQ. FT.	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	MANUFACTURER	SERIES
1	6	4/0 X 4/0 SLIDING	6.1	11.3	47 1/2"	47 1/2"	PELLA	PROLINE
2	1	5/0 X 3/6 SLIDING	6.8	12.6	59 1/2"	41 1/2"	PELLA	PROLINE
3	2	5/0 X 4/0 SLIDING	7.9	14.7	59 1/2"	47 1/2"	PELLA	PROLINE
4	2	2/0 X 3/0 SLIDING	1.8	3.1	23 1/2"	35 1/2"	PELLA	PROLINE
5	2	2547 CA-2	12.6	10.4	51 1/2"	47 3/4"	PELLA	PROLINE
6	1	3547 CA-2	18.6	16.0	71 1/2"	47 3/4"	PELLA	PROLINE
7	9	2947 CA-3	22.5	18.9	89 1/4"	47 3/4"	PELLA	PROLINE
8	8	2959 CA-1	9.6	8.2	29 3/4"	59 3/4"	PELLA	PROLINE
9	6	2535 DH-1	2.2	4.0	25 3/4"	35 3/4"	PELLA	PROLINE
10	2	3259 CA-2	10.1	10.2	44 1/4"	54 7/8"	PELLA	PROLINE
11	1	5959 FIXED	---	17.5	59 3/4"	59 3/4"	PELLA	PROLINE
12	1	6/0 X 3/6 SLIDING	8.4	15.5	71 1/2"	41 1/2"	PELLA	PROLINE
QNTY.	UNIT	DESIGNATION	VENT SQ. FT.	GLASS SQ. FT.	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	MANUFACTURER	SERIES
3	7280	ENTRY DOOR	17.5	11.3	32 15/16"	76 7/16"	PELLA	PROLINE
1	3648	METER ROOM DOOR	---	---	36"	48"	---	---
2	3080	PATIO DOOR	14.3	8.6	26 15/16"	76 7/16"	PELLA	PROLINE
2	2680	PATIO DOOR	11.8	6.1	20 1/16"	76 7/16"	PELLA	PROLINE
2	7280	SLIDING DOOR	15.2	28.3	22 7/8"	75 3/4"	PELLA	PROLINE

6 WINDOW EGRESS DETAIL
SCALE: 3/4" = 1'-0"

7 UNIT SEPARATION WALL
SCALE: 1" = 1'-0"



4 STAIR AND HAND RAIL DETAIL
SCALE: 1" = 1'-0"



DIAGONAL DECKING NOTES:
DIAGONAL DECKING TO BE A MINIMUM OF 2" W/ DECK JOISTS @ 16" O.C.
DIAGONAL DECKING TO BE A MINIMUM OF 5/8" W/ DECK JOISTS @ 12" O.C.

WALL LEGEND

- 2x4 OR 2x6 WALL BEARING PARTITION
- NEW 2x4 WALL FOR INTERIOR AND 2x6 FOR EXTERIOR
- WOOD POST IN A WALL
- POINT LOAD FROM ABOVE

- HARD WIRED SMOKE DETECTOR CEILING MOUNTED
- CARBON MONOXIDE DETECTOR CEILING MOUNTED

OCCUPANT LOAD CALCULATIONS

PER TABLE 1004.1.2 RESIDENTIAL OCCUPANT LOAD FACTOR: 200 SQ FT GROSS PER PERSON
UNIT 101: 2,017 SQ FT / 200 = 11 OCCUPANTS
UNIT 102: 2,109 SQ FT / 200 = 11 OCCUPANTS

1 SECOND FLOOR PLAN

A-103 SCALE: 1/4" = 1'-0"

WINDOW NOTES

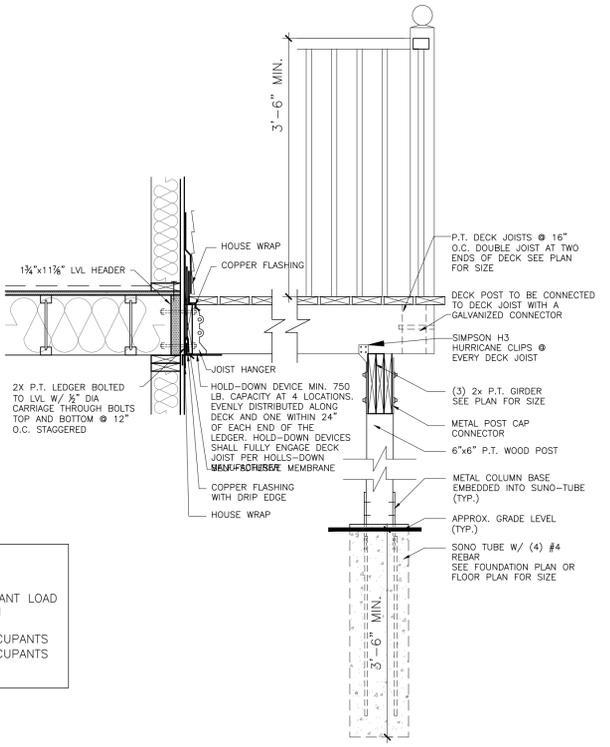
- EMERGENCY ESCAPE & RESCUE OPENINGS**
- BASEMENTS WITH HABITABLE SPACE & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE & RESCUE OPENING.
 - SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE FINISH FLOOR
 - WINDOW WELL REQUIREMENT FOR BELOW GRADE EMERGENCY & RESCUE OPENING SHALL BE AS FOLLOWS. HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED, W/ A MINIMUM NET CLEAR AREA OF 9 SF & A MINIMUM HORIZ. PROJECTION & WIDTH OF 36" (A LADDER OR STEPS SHALL BE PERMITTED TO ENCR OACH A MAXIMUM OF 6" INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL.)
 - WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPPED W/A PERMANENTLY AFFIXED LADDER OR STEPS.
 - MIN. OPENING AREA-5.7 SQ. FT.
 - GRADE FLOOR OPENINGS-5.0 SQ. FT.
 - MIN. OPENINGS HGHT-24"
 - MIN. OPENING WIDTH-20"
- PROVIDE TEMPERED GLAZING IN THE FOLLOWING ...**
- ALL GLAZING IN DOORS
 - ALL WINDOWS WITH BOTTOM EDGE LESS THAN 18" A.F.F.
 - ALL WINDOWS OVER HOT TUBS, BATHS, ETC...
 - ALL WINDOWS IN STAIRWAYS OR STAIRWAY LANDINGS
 - CONTRACTOR TO CHECK WITH WINDOW MANUFACTURER REP. TO VERIFY WINDOWS THAT REQUIRE TEMPER GLASS.
 - CONTRACTOR TO VERIFY WINDOW QUANTITY AND DESIGNATION BEFORE ORDERING WINDOWS.

ALL DIMENSIONS ARE FROM EXTERIOR WALL TO EXTERIOR WALL AND INCLUDING THE EXTERIOR WALLS.

SQUARE FOOTAGE:
TOTAL 3,736 S.F.

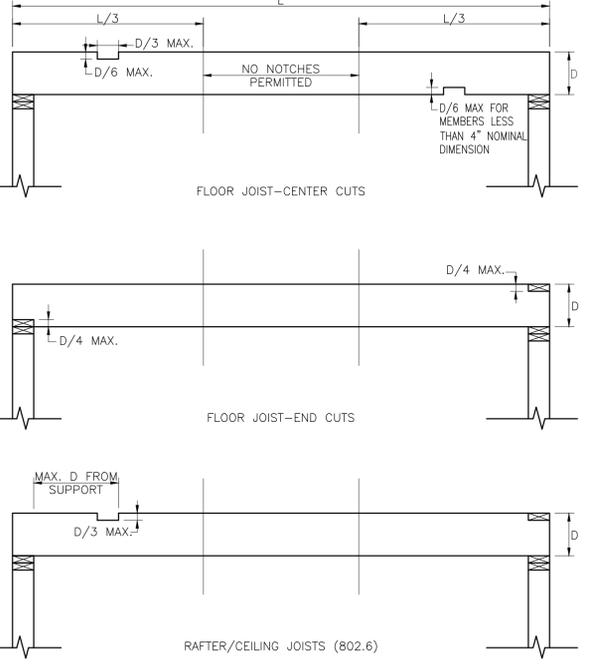
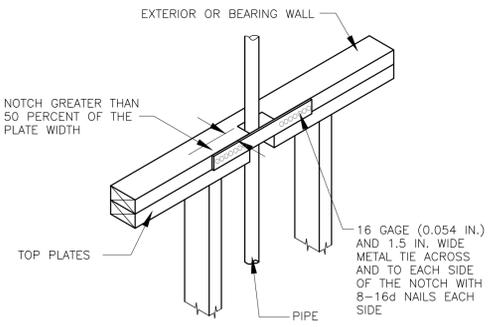
2 WOOD DECK DETAIL

A-103 SCALE: 3/4" = 1'-0"



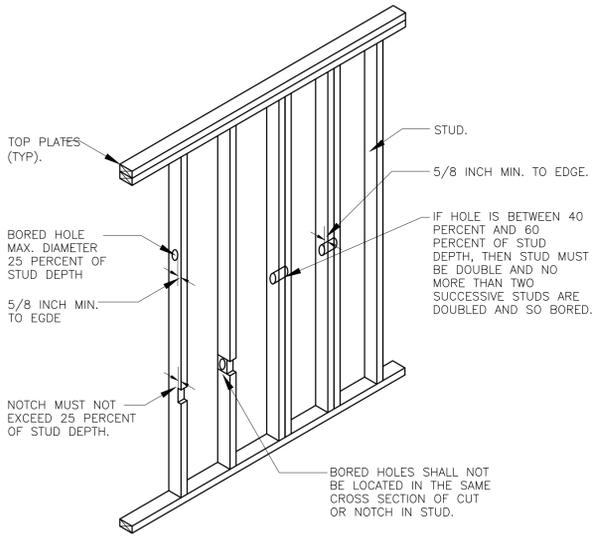
4 TOP PLATE PENETRATION

A-103 SCALE: N.T.S.



3 NOTCHING DETAILS

A-103 SCALE: 1/2" = 1'-0"



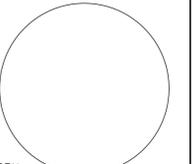
5 EXTERIOR WALL PENETRATION

A-103 SCALE: N.T.S.

PROPOSED TWO FAMILY RESIDENCE FOR:
21 COLLINS AVE
 VILLAGE OF SPRING VALLEY
 ROCKLAND COUNTY, NEW YORK

Project No. C0101
Drawn By: LH
Reviewed By: PS
Date: OCT 31, 2019

Revisions:



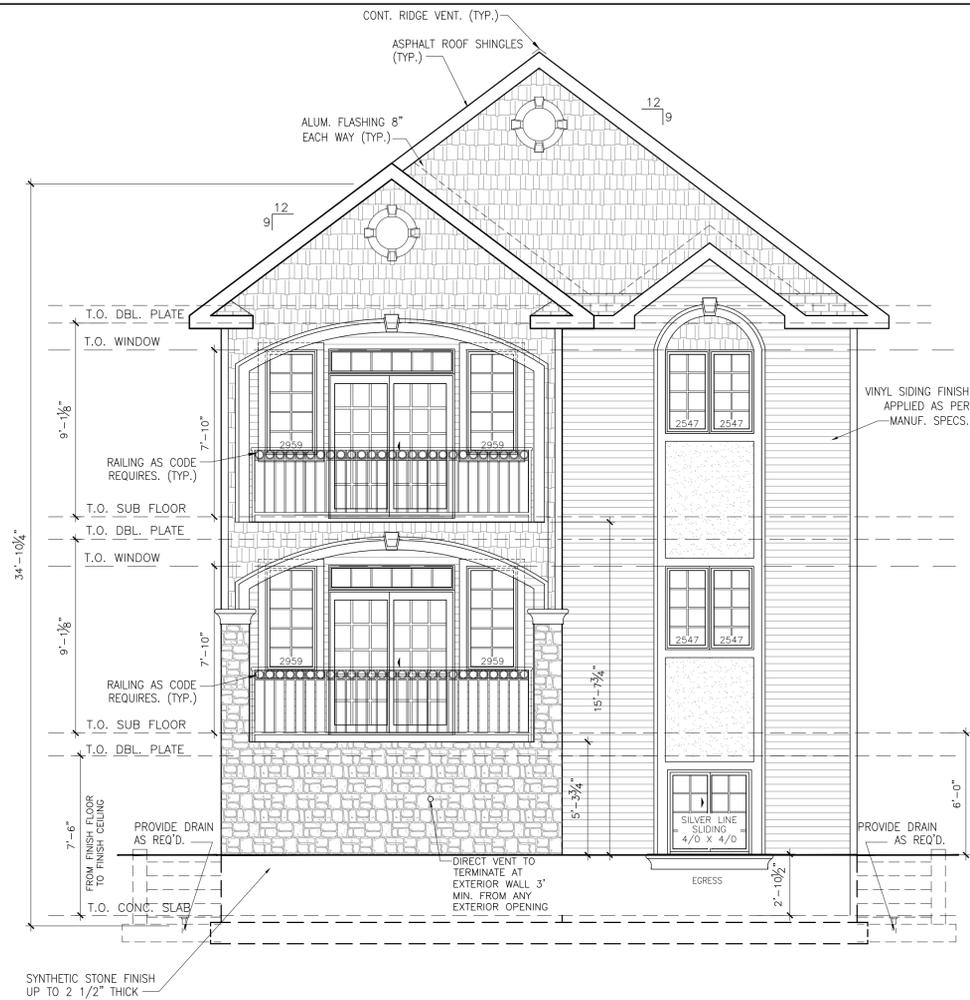
SEAL
LICENSE NO: 42302

PROPOSED TWO FAMILY RESIDENCE FOR:
21 COLLINS AVE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

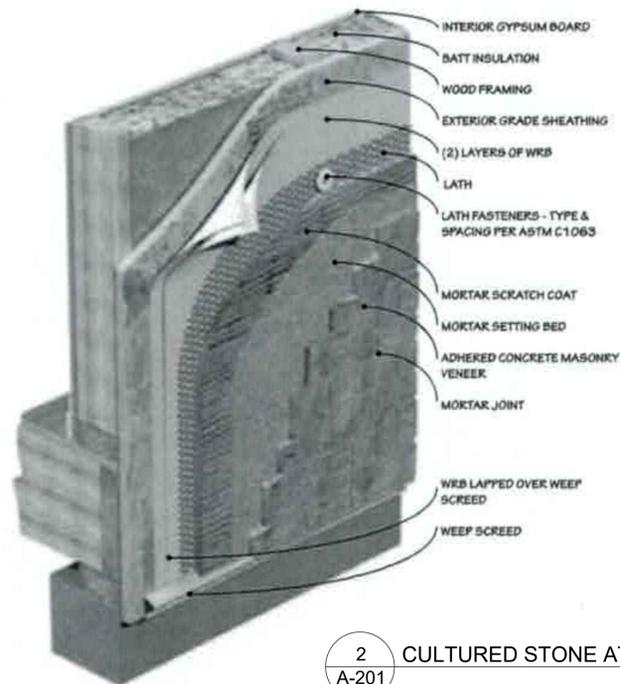
Project No. C0101
Drawn By: LH
Reviewed By: PS
Date: OCT 31, 2019

Revisions:

A-201



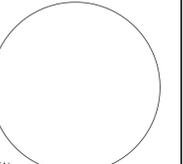
1 FRONT ELEVATION
A-201 SCALE: 1/4" = 1'-0"



2 CULTURED STONE ATTACHMENT DETAIL
A-201 SCALE: N.T.S.



3 REAR ELEVATION
A-201 SCALE: 1/4" = 1'-0"

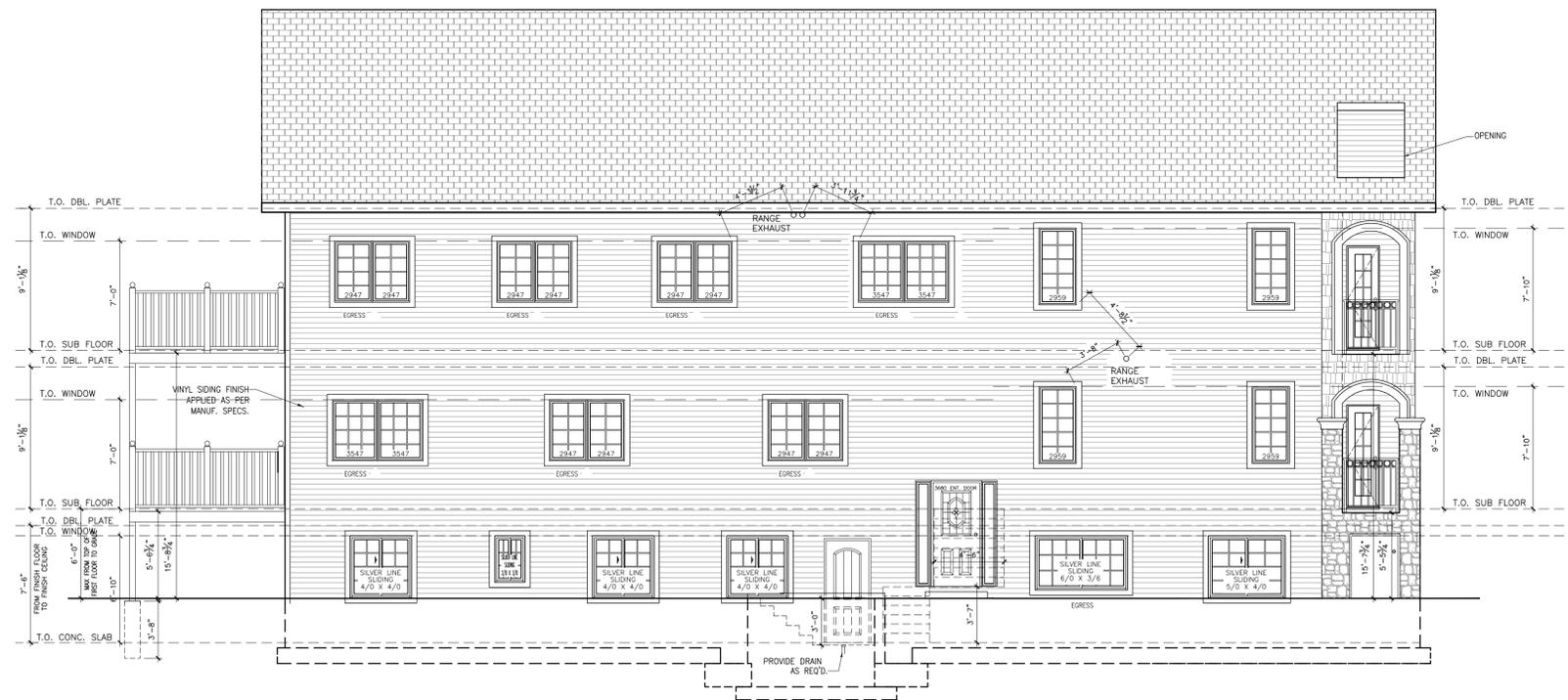


SEAL
LICENSE NO: 42302

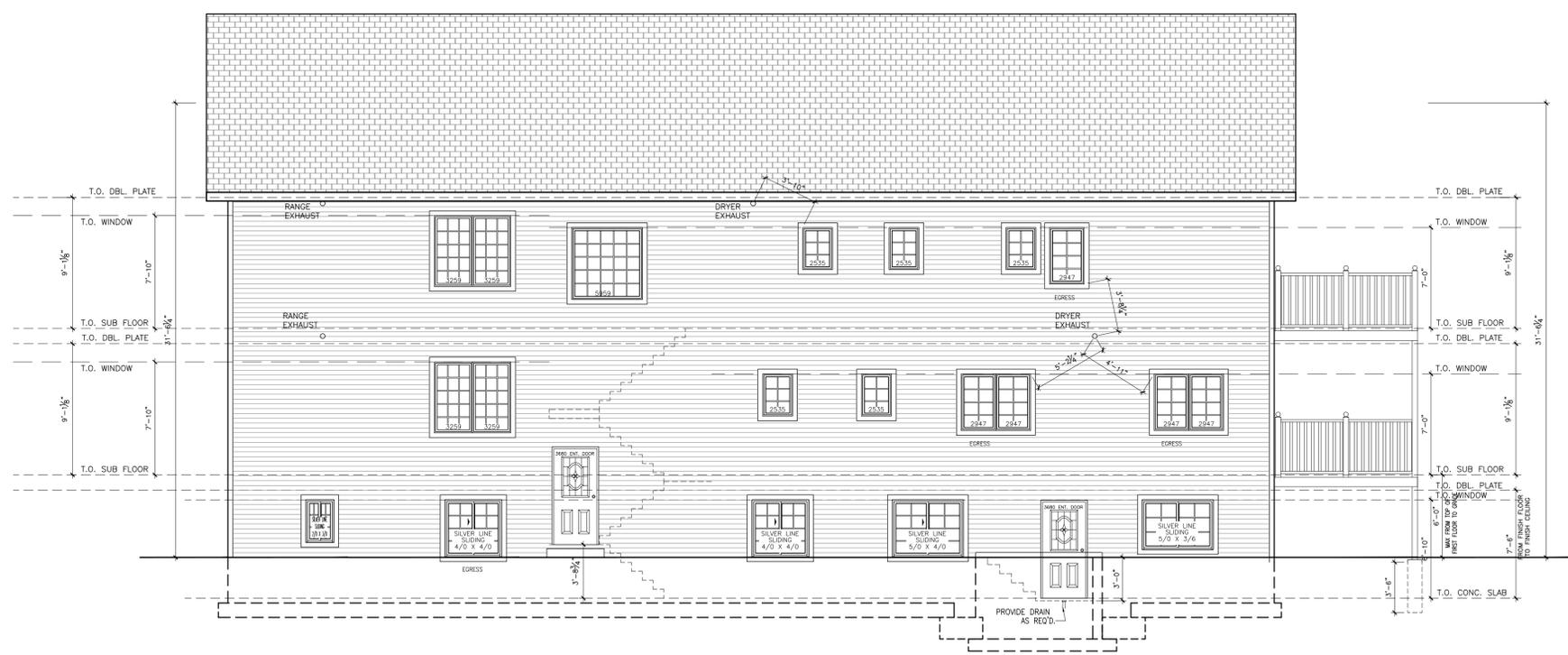
PROPOSED TWO FAMILY RESIDENCE FOR:
21 COLLINS AVE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

Project No. C0101
Drawn By: LH
Reviewed By: PS
Date: OCT 31, 2019
Revisions:

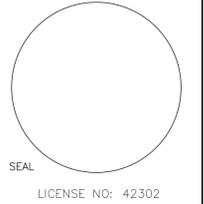
A-202



1 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED TWO FAMILY RESIDENCE FOR:
21 COLLINS AVE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

Project No. *COL101*
 Drawn By: *LH*
 Reviewed By: *PS*
 Date: *06/31/2019*

Revisions:

- A) VALLEYS, MIN. 24" UP BOTH SLOPES
- B) ALL ROOF/WALL INTERSECTIONS MIN. 12" VERT.
- C) ALL ROOF PENETRATIONS
- D) WINDOW/DOOR HEADS
- E) SILLS AND THRESHOLDS
- F) MASONRY/FRAME WALL INTERSECTING CONSTRUCTION PRACTICE
- G) OTHER AREAS AS PER PROPER CONSTRUCTION PRACTICE

11. UNLESS OTHERWISE NOTED, ALL EXTERIOR WINDOW AND DOOR HEADERS SHALL BE MIN. (2) 2X10'S AND INTERIOR SHALL BE MIN. (2) 2X8'S

SP-01

R403.5.1.2 HEAT TRACE SYSTEMS. ELECTRIC HEAT TRACE SYSTEMS SHALL COMPLY WITH IEEE 515.1 OR UL 515. CONTROLS FOR SUCH SYSTEMS SHALL AUTOMATICALLY ADJUST THE ENERGY INPUT TO THE HEAT TRACING TO MAINTAIN THE DESIRED WATER TEMPERATURE IN THE PIPING IN ACCORDANCE WITH THE TIMES WHEN HEATED WATER IS USED IN THE OCCUPANCY

MECHANICAL VENTILATION TO COMPLY WITH SECTION R403.6 OF THE INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)

R403.7 EQUIPMENT SIZING AND EFFICIENCY RATING. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R403.8 SYSTEMS SERVING MULTIPLE DWELLING UNITS. SYSTEMS SERVING MULTIPLE DWELLING UNITS SHALL COMPLY WITH SECTIONS C403 AND C404 OF THE IECC-COMMERCIAL PROVISIONS IN LIEU OF SECTION R403.

R403.9 SNOW MELT AND ICE SYSTEM CONTROLS. SNOW- AND ICE-MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AN AUTOMATIC CONTROL CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENT TEMPERATURE IS ABOVE 50°F (10°C), AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°F (4.8°C).

SECTION R404 ELECTRICAL POWER AND LIGHTING SYSTEMS
 A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. FUEL GAS SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.

IN ALL BUILDINGS HAVING INDIVIDUAL DWELLING UNITS, PROVISIONS SHALL BE MADE TO DETERMINE THE ELECTRICAL ENERGY CONSUMED BY EACH UNIT BY SEPARATELY METERING OR MONITORING INDIVIDUAL DWELLING UNITS.

WALL CONSTRUCTION

1. ALL STUDS SHALL BE 16" O.C. AND SHALL BE TOE NAILED UNLESS OTHERWISE NOTED
2. DOUBLE TOP PLATES SHALL BE LAPPED AT CORNERS WITH END JOINTS BEING OFFSET AT LEAST 24"
3. STUDS MAY BE NOTCHED MAX 25% OF ITS WIDTH IN A BEARING WALL, MAX 40% OF ITS WIDTH IN A NON-BEARING WALL.
4. ANY STUD MAY BE DRILLED/BORED TO A MAX OF 40% OF ITS WIDTH IF A MIN. OF 5/8" IS MAINTAINED FROM STUD FACE, AND HOLE IS NOT LOCATED IN THE SAME SECTION AS A NOTCH/CUT
5. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - A.1) VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - A.2) HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - C) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
 - D) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNUAL SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
 - E) FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
 - F) FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
6. FIRE BLOCKING SHALL CONSIST OF 2X LUMBER OR UNFACED FIBERGLASS BATT INSULATION USED AS FIRE BLOCKING SHALL FILL THE ENTIRE CROSS SECTION OF THE WALL CAVITY TO A MINIMUM HEIGHT OF 16 INCHES (406 MM) MEASURED VERTICALLY, WHEN PIPING, CONDUIT OR SIMILAR OBSTRUCTIONS ARE ENCOUNTERED, THE INSULATION SHALL BE PACKED TIGHTLY AROUND THE OBSTRUCTION.
7. DRAFTSTOPPING SHALL BE PROVIDED WHERE CEILING IS SUSPENDED UNDER THE FLOOR FRAMING OR FLOORS FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB AND THERE IS A USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE.
8. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS, WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW.
7. EXTERIOR SHEATHING SHALL BE EITHER 1/2" APA-RATED PLYWOOD SHEATHING OR 1/2" STRUCTURAL FIBERBOARD SHEATHING
8. BRACED WALL PANELS SHALL BEGIN NO MORE THAN 12 1/2 FEET FROM EACH END OF THE BRACED WALL LINE
9. WOOD STRUCTURAL PANEL WALL SHEATHING MARKED "EXPOSURE 1" OR "EXTERIOR" ARE CONSIDERED WATER REPELLENT SHEATHING UNDER THE CODE
10. CORROSION-RESISTANT FLASHING SHALL BE INSTALLED TO ENSURE PROPER RUNOFF AND WATERPROOFING AT THESE LOCATIONS
 - A) VALLEYS, MIN. 24" UP BOTH SLOPES
 - B) ALL ROOF/WALL INTERSECTIONS MIN. 12" VERT.
 - C) ALL ROOF PENETRATIONS
 - D) WINDOW/DOOR HEADS
 - E) SILLS AND THRESHOLDS
 - F) MASONRY/FRAME WALL INTERSECTING CONSTRUCTION PRACTICE
 - G) OTHER AREAS AS PER PROPER CONSTRUCTION PRACTICE
11. UNLESS OTHERWISE NOTED, ALL EXTERIOR WINDOW AND DOOR HEADERS SHALL BE MIN. (2) 2X10'S AND INTERIOR SHALL BE MIN. (2) 2X8'S

7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
9. COMMON WALLS BETWEEN DWELLING UNITS.
10. ATTIC ACCESS OPENINGS.
11. RIM JOIST JUNCTIONS.
12. SILL PLATES AND HEADERS, FOAM PLASTIC (SPRAY FOAM INSULATION) SHALL BE PERMITTED TO BE PERMITTED TO A SILL PLATE, HEADER AND RIM JOISTS WITHOUT THE THERMAL BARRIER AS SPECIFIED IN THE RESIDENTIAL CODE OF NEW YORK STATE, SECTION 314.4 SUBJECT TO ALL OF THE FOLLOWING:
 - A. THE MAXIMUM THICKNESS OF THE FOAM PLASTIC SHALL BE 31/4 INCHES
 - B. THE DENSITY OF THE FOAM PLASTIC SHALL BE IN THE RANGE OF 0.5 TO 2.0 POUNDS PER CUBIC FOOT
 - C. THE FOAM PLASTIC SHALL HAVE A FLAME SPREAD INDEX OF 25 OR LESS AND AN ACCOMPANYING SMOKE DEVELOPED INDEX OF 450 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM E 84.
13. OTHER SOURCES OF INFILTRATION

WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M²), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M²), WHEN TESTED ACCORDING TO NRC 400 OR AAMA/WDMA/CSA 101/1.5.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER

VAPOR BARRIER TO BE ON HEATED OR LIVING SIDE IN FLOORS, WALLS AND CEILING (WHERE APPLICABLE)

FIBERGLASS SILL PLATE INSULATION TO BE USED UNDER ALL SILL PLATES, WHETHER ON CRAWL SPACE WALLS OR SLABS.

TESTING BUILDING ENVELOPE SHALL BE TESTED ACCORDING TO SECTION R402.4.1.2

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE THERMAL BARRIER.

SECTION R403 SYSTEMS
 BUILDING MECHANICAL SYSTEMS SHALL COMPLY WITH SECTION R403 OF THE INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)

EACH UNIT TO HAVE AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING

CONTROLLING THE PRIMARY HEATING OR COOLING SYSTEM OF THE DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55°F (13°C) OR UP TO 85°F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANUFACTURER WITH A HEATING TEMPERATURE SET POINT NO LOWER THAN 70°F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78°F (26°C).

HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

ALL SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3 INCHES (76 MM) IN DIAMETER AND GREATER AND R-6 WHERE LESS THAN 3 INCHES (76 MM) IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3 INCHES (76 MM) IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3 INCHES (76 MM) IN DIAMETER.

EXCEPTION: DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE. SEALING; DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

- EXCEPTIONS:
1. AIR-IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
 2. FOR DUCTS HAVING A STATIC PRESSURE CLASSIFICATION OF LESS THAN 2 INCHES OF WATER COLUMN (500 PA), ADDITIONAL CLOSURE SYSTEMS SHALL NOT BE REQUIRED FOR CONTINUOUSLY WELDED JOINTS AND SEAMS, AND LOCKING-TYPE JOINTS AND SEAMS OF OTHER THAN THE SNAP-LOCK AND BUTTON-LOCK TYPES.

ALL DUCTS TO BE TESTED FOR LEAKAGE ACCORDING TO SECTION R403.3.3 OF THE INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)

BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS

ALL DUCTS TO COMPLY WITH SECTION R403.3 OF THE NYS ECCC

ALL MECHANICAL SYSTEM PIPING INSULATION TO COMPLY WITH SECTION R403.4 OF THE INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)

SERVICE HOT WATER SYSTEMS TO COMPLY WITH SECTION R403.5 OF THE INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)

HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE.

MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.1.1 CIRCULATION SYSTEMS. HEATED WATER CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A CIRCULATION PUMP. THE SYSTEM RETURN PIPE SHALL BE A DEDICATED RETURN PIPE OR A COLD WATER SUPPLY PIPE. GRAVITY AND THERMOSYPHON CIRCULATION SYSTEMS SHALL BE PROHIBITED. CONTROLS FOR CIRCULATING HOT WATER SYSTEM PUMPS SHALL START THE PUMP BASED ON THE IDENTIFICATION OF A DEMAND FOR HOT WATER WITHIN THE OCCUPANCY. THE CONTROLS SHALL AUTOMATICALLY TURN OFF THE PUMP WHEN THE WATER IN THE CIRCULATION LOOP IS AT THE DESIRED TEMPERATURE AND WHEN THERE IS NO DEMAND FOR HOT WATER.

ENERGY NOTES

BUILDING TO COMPLY WITH

- CHAPTER 11 OF THE INTERNATIONAL RESIDENTIAL CODE (IECC)
- RESIDENTIAL PROVISIONS OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)
- 2016 NYS ENERGY CODE SUPPLEMENT

SECTION R401.3 CERTIFICATE

A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING, WHERE LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT, WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER," "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER," AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

SECTION 402 BUILDING THERMAL ENVELOPE

BUILDING ENVELOPE TO COMPLY WITH SECTION R402 OF THE INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)

ALL VALUES ARE FOR CLIMATE ZONE 5, R-VALUES ARE ACCORDING TO TABLE R402.1.1, AND U-FACTOR VALUES ARE ACCORDING TO TABLE R402.1.4.

CEILING TO HAVE R-49 INSULATION OR A U-FACTOR OF 0.026.

R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES

WOOD FRAMED WALLS OF BUILDING TO HAVE R-20 CAVITY INSULATION OR R-13 CAVITY INSULATION + R-5 CONTINUOUS INSULATION OR A U FACTOR OF 0.060.

MASS WALLS TO HAVE R-13 INSULATION OR R-17 IF MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL OR A U FACTOR OF 0.082 (WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR, THE MASS WALL U-FACTORS SHALL BE 0.065).

BASEMENT WALLS SHALL HAVE MINIMUM R-15 OF CONTINUOUS INSULATION ON THE INTERIOR OR THE EXTERIOR OF THE WALL OR A MINIMUM OF R-19 OF CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

OR A U FACTOR OF 0.050.

BASEMENT WALLS ASSOCIATED WITH CONDITIONED BASEMENTS SHALL BE INSULATED FROM THE TOP OF THE BASEMENT WALL DOWN TO 10 FEET BELOW GRADE OR TO THE BASEMENT FLOOR, WHICHEVER IS LESS, WALLS ASSOCIATED WITH UNCONDITIONED BASEMENTS SHALL MEET THIS REQUIREMENT UNLESS THE FLOOR OVERHEAD IS INSULATED

FLOORS TO HAVE R-30 INSULATION OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.

OR A U FACTOR OF 0.033.

FENESTRATION OF BUILDING TO HAVE A U-FACTOR OF 0.32 (EXCLUDING SKYLIGHTS).

SLABS TO HAVE R-10 INSULATION FOR A DEPTH OF 2 FEET.

SLAB-ON-GRADE FLOORS WITH A FLOOR SURFACE LESS THAN 12 INCHES (305 MM) BELOW GRADE SHALL BE INSULATED WITH R-10 INSULATION. THE INSULATION SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB ON THE OUTSIDE OR INSIDE OF THE FOUNDATION WALL. INSULATION LOCATED BELOW GRADE SHALL BE EXTENDED 2'-0" BY ANY COMBINATION OF VERTICAL INSULATION,

CRAWL SPACE SHALL HAVE MINIMUM R-15 OF CONTINUOUS INSULATION ON THE INTERIOR OR THE EXTERIOR OF THE WALL OR MINIMUM OF R-19 OF CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

OR A U FACTOR OF 0.055.

SKYLIGHTS TO HAVE A U FACTOR OF 0.55.

MAXIMUM FENESTRATION U-FACTOR AND SHGC
 THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECTION R402.1.5 OR R405 SHALL BE 0.48 IN CLIMATE ZONES 4 AND 5 AND 0.40 IN CLIMATE ZONES 6 THROUGH 8 FOR VERTICAL FENESTRATION, AND 0.75 IN CLIMATE ZONES 4 THROUGH 8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1 THROUGH 3 SHALL BE 0.50.

ALL SIDING ATTACHED TO SHEATHING OVER FOAM SHALL COMPLY AND USE PROPER SIZE AND TYPE OF NAILS ACCORDING TO SECTION 402.1.5 OF THE NYS ECCC.

FIRE SEPARATIONS BETWEEN DWELLING UNITS IN TWO-FAMILY DWELLINGS AND MULTIPLE SINGLE-FAMILY DWELLINGS (TOWNHOUSES) SHALL BE INSULATED TO NO LESS THAN R-10 AND THE WALLS SHALL BE AIR SEALED IN ACCORDANCE WITH SECTION 402.4.1

AIR BARRIER AND INSULATION INSTALLATION SHOULD COMPLY WITH TABLE R402.4.1.1 OF THE INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE (IECC)

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

1. ALL JOINTS, SEAMS AND PENETRATIONS.
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
4. UTILITY PENETRATIONS.
5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
6. KNEE WALLS.

FOUNDATION NOTES

1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO COMMENCEMENT OF WORK.

2. CONCRETE MATERIAL . READY MIXED CONCRETE SHALL HAVE A 28 DAYS COMPRESSIVE STRENGTH (F'c) OF,

2,500 PSI BASEMENT WALLS, FOUNDATIONS & OTHER CONCRETE NOT EXPOSED TO WEATHER

2,500 PSI BASEMENT SLABS & INTERIOR SLABS ON GRADE EXCEPT GARAGE SLABS

3,500 PSI BASEMENT WALLS, FOOTINGS, FOUNDATIONS, WALLS, EXTERIOR WALLS & OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER

3,000 PSI PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER & GARAGE FLOOR SLABS

3. CONCRETE SLUMP SHALL BE BETWEEN 3" TO 5".

4. ALL FOOTINGS TO BE MIN. 3'-6" BELOW GRADE ON LEVEL UNDISTURBED SOIL OR ENGINEERED FILLS.

5. REINF. BARS SHALL BE OF DEFORMED BILLET STEEL NOT LESS THAN 24,000 P.S.I. (GRADE 60)

6. ALL SPICES OF REINF. BARS SHALL NOT BE LAPPED LESS THAN 30 BAR DIAMETERS.

7. ALL SPICES OF WELDED WIRE FABRIC SHALL BE LAPPED BY (2) SPACINGS OF CROSS WIRE. COVERING OF 2".

8. ALL W.W.F. SHALL CONFORM TO THE LATEST A.S.T.M. SPECIFICATIONS FOR WELDED WIRE FABRIC.

9. ALL REINF. STEEL SHALL HAVE A MIN. CONCRETE COVER OF 2".

10. PROVIDE INSULATION UNDER ALL SILL PLATES.

11. MIN. SOIL BEARING CAPACITY – 4000 P.S.F.

12. ALL CONCRETE FORMWORK IS TO REMAIN IN PLACE FOR A MINIMUM OF 24 HOURS AFTER POUR.

13. MAXIMUM UNBALANCED BACKFILL TO BE NO MORE THAN 6'-0" UNLESS NOTED OTHERWISE

14. FOOTING SHOULD BE STEPPED WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTING WOULD EXCEED 10% (1 VERTICAL, 10 HORIZONTAL.)

15. SLAB THICKNESS TO BE MINIMUM 4"

16. SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS AT 32" O.C. MIN. WITH A BOLT LOCATED WITHIN 12" OF THE END OF EACH PLATE SECTION. BOLTS SHOULD BE MIN. 1/2" DIAMETER AND SHALL EXTEND AT LEAST 12" INTO MASONRY/CONCRETE

17. ANCHOR STRAPS MAY BE USED IF THEY ARE SPACED APPROPRIATELY TO PROVIDE EQUIVALENT ANCHORAGE TO ANCHOR BOLTS

18. BRACE FOUNDATION WALL ADEQUATELY PRIOR TO BACK FILL

19. DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USEABLE SPACE LOCATED BELOW GRADE. DRAINS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND AT LEAST 12" BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6" ABOVE THE TOP OF THE FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. (DRAINAGE SYSTEM IS NOT REQUIRED WHEN FOUNDATION IS INSTALLED ON WELL-DRAINED GROUND ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM , GROUP 1 SOILS.)

FLOOR NOTES

1. STRUCTURAL STEEL TO BE A36 AND RECEIVE ONE COAT OF RUST INHIBITIVE PAINT. ALL PLATES AND CONNECTIONS TO BE DESIGNED BY FABRICATOR.

2. ALL LUMBER MATERIALS SHALL BE NEW, SOUND, DRY MATERIAL FREE FROM DEFECTS AND IMPERFECTIONS WHERE BY THE STRENGTH MAY BE IMPAIRED AND SHALL BE OF THE SIZES INDICATED ON THE DRAWINGS.

3. FLOOR JOISTS TO BE DOUBLED BELOW ALL INTERIOR PARTITIONS RUNNING PARALLEL TO THE JOISTS FRAMING.

4. SUB FLOOR TO BE CDX PLYWOOD, TONGUE-AND-GROVE, GLUED AND SCREWED. FLOOR AREAS SCHEDULED FOR CERAMIC TILE FINISH TO HAVE ADDITIONAL LAYER OF 3/4" CDX PLYWOOD SUBSTRATE INSTALLED WITH 3/4" SUBSTRATE SHEETS RUNNING PERPENDICULAR TO SUBFLOOR SHEETS.

5. MINIMUM FLOOR JOISTS BEARING SHALL BE AT LEAST 1 1/2" ON WOOD AND AT LEAST 3" ON MASONRY OR CONCRETE. FLOOR JOIST FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP NOT LESS THAN 3" AND SHOULD BE NAILED TOGETHER WITH A MINIMUM OF THREE 100 FACE NAILS

6. FLOOR JOISTS LARGER THAN 2X12 SHALL BE SUPPORTED Laterally BY SOLID BLOCKING OR DIAGONAL WOOD OR METAL BRIDGING AT INTERVALS NOT EXCEEDING 8 FEET.

7. WOOD TRUSSES SHALL NOT BE CUT, NOTCHED, SPLICED, OR OTHERWISE ALTERED. TRUSSES DESIGN DRAWING PREPARED BY A LICENSED ENGINEER SHALL BE PROVIDED TO CODE ENFORCEMENT OFFICER PRIOR TO INSULATION.

8. END JOISTS IN SUBFLOORING SHALL OCCUR OVER SUPPORTS.

9. PARTICLEBOARD USED FOR FLOOR UNDERLAYMENT SHALL BE MIN. 1/4" THICK AND SHALL CONFORM TO TYPE PBU.

10. ALL ENGINEER LUMBER TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.

11. ALL SIMPSON (OR OTHER) FASTENERS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.

TABLE RR301.2 (1)
CLIMATIC DESIGN CRITERIA

CLIMATE ZONE	GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
		SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
5	30	115	NO	YES	NO	B	MODERATE	42"	MODERATE TO HEAVY	6	YES	3/3/14	610	50.75

CODE:

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)

USE AND OCCUPANCY: TWO-FAMILY DETACHED RESIDENTIAL

R302.3 TVVO-FAMILY DWELLINGS.

DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263. FIRE-RESISTANCE-RATED FLOOR/CEILING AND WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL, AND WALL ASSEMBLIES SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING.

HVAC

- PROVIDE FRESH AIR INTAKE AS REQUIRED IN MECH. RM. AND APPROVED FLUE AS PER MANUFACTURERS SPECS. ALL WORK TO MEET LATEST REQUIREMENTS OF CHAPTER 14 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- ALL DUCTWORK OUTSIDE OF CONDITIONED SPACE TO BE INSULATED WITH A MIN. OF R-8. IF DUCTWORK IS WITH IN CONDITIONED ENVELOPE NO INSULATION IS REQUIRED.

ELECTRICAL

- ALL WORK TO COMPLY WITH THE 2014 N.E.C. AS WELL AS CHAPTER 34 AND 35 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

PLUMBING

- ALL WORK TO COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) . AND ALL LOCAL CODES.
- WATER HEATERS WITH VERTICAL PIPE RISERS SHALL HAVE A HEAT TRAP ON BOTH THE INLET & OUTLET OF THE WATER HEATER UNLESS THE WATER HEATER HAS AN INTEGRAL HEAT TRAP OR IS PART OF CIRCULATING SYSTEM.
- PLUMBING AND DRAINAGE SYSTEM TO BE TESTED AS PER CODE.
- ALL PLUMBING LINES IN EXTERIOR WALLS OR IN CONCEALED AREAS OR EXPOSED UNHEATED AREA TO BE INSULATED WITH R=5 BATTS MIN.

	MINIMUM PIPE/TRAP SIZING				
	COLD	HOT			

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE ^b	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE ^{b,9}	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS ^e	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS ^d	200 ^h
GUARDS IN-FILL COMPONENTS ^f	50 ^h
PASSENGER VEHICLE GARAGES ^o	50 ^d
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 ^c

- e. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000-POUND LOAD APPLIED OVER A 20-SQUARE-INCH AREA.
- f. UNINHABITABLE ATTICS WITHOUT STORAGE ARE THOSE WHERE THE MAXIMUM CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS LESS THAN 42 INCHES, OR WHERE THERE ARE NOT TWO OR MORE ADJACENT TRUSSES WITH WEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42 INCHES HIGH BY 24 INCHES IN WIDTH, OR GREATER, WITHIN THE PLANE OF THE TRUSSES. THIS LIVE LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENTS.
- g. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300-POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.
- h. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- i. SEE SECTION R502.2.2 FOR DECKS ATTACHED TO EXTERIOR WALLS.
- j. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL, BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.
- k. UNINHABITABLE ATTICS WITH LIMITED STORAGE ARE THOSE WHERE THE MAXIMUM CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS LESS THAN 42 INCHES OR GREATER, OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH WEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42 INCHES HIGH BY 24 INCHES IN WIDTH, OR GREATER, WITHIN THE PLANE OF THE TRUSSES. THE LIVE LOAD NEED ONLY BE APPLIED TO THOSE PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
1. THE ATTIC AREA IS ACCESSIBLE FROM AN OPENING NOT LESS THAN 20 INCHES IN WIDTH BY 30 INCHES IN LENGTH THAT IS LOCATED WHERE THE CLEM- HEIGHT IN THE ATTIC IS A MINIMUM OF 30 INCHES.
 2. THE SLOPES OF THE JOISTS OR TRUSS BOTTOM CHORDS ARE NO GREATER THAN 2 INCHES VERTICAL TO 12 UNITS HORIZONTAL.
 3. REQUIRED INSULATION DEPTH IS LESS THAN THE JOIST OR TRUSS BOTTOM CHORD MEMBER DEPTH. THE REMAINING PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS SHALL BE DESIGNED FOR A UNIFORMLY DISTRIBUTED CONCURRENT LIVE LOAD OF NOT LESS THAN 10 LB/FT².
- l. GLAZING USED IN HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED WITH A SAFETY FACTOR OF 4. THE SAFETY FACTOR SHALL BE APPLIED TO EACH OF THE CONCENTRATED LOADS APPLIED TO THE TOP OF THE RAIL, AND TO THE LOAD ON THE IN-FILL COMPONENTS. THESE LOADS SHALL BE DETERMINED INDEPENDENT OF ONE ANOTHER, AND LOADS ARE ASSUMED NOT TO OCCUR WITH ANY OTHER LIVE LOAD.

JOIST SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 10 psf				DEAD LOAD = 20 psf			
		2x6	2x8	2x10	2x12	2x6	2x8	2x10	2x12
		(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)
12	DOUGLAS FIR-LARCH #2	11-10	15-7	19-10	23-4	11-8	14-9	18-0	20-11
	HEM-FIR #2	11-0	14-6	18-6	22-6	11-0	14-4	17-6	20-4
	SPRUCE-PINE-FIR #2	11-3	14-11	19-0	23-0	11-3	14-7	17-9	20-7
	DOUGLAS FIR-LARCH #1	10-11	14-5	18-5	21-4	10-8	13-6	16-5	19-1
	DOUGLAS FIR-LARCH #2	10-9	14-2	17-5	20-3	10-1	12-9	15-7	18-1
	HEM-FIR #1	10-6	13-10	17-8	21-1	10-6	13-4	16-3	18-10
16	DOUGLAS FIR-LARCH #2	10-0	13-2	16-10	19-8	9-10	12-5	15-2	17-7
	HEM-FIR #2	10-3	13-6	17-2	19-11	9-11	12-7	15-5	17-10
	SPRUCE-PINE-FIR #2	10-3	13-6	17-2	19-11	9-11	12-7	15-5	17-10
	DOUGLAS FIR-LARCH #1	10-1	13-0	15-11	18-6	9-3	11-8	14-3	16-6
	HEM-FIR #2	9-5	12-5	15-6	17-1	8-11	11-4	13-10	16-1
	SPRUCE-PINE-FIR #2	9-8	12-9	15-8	18-3	9-1	11-6	14-1	16-3
19.2	DOUGLAS FIR-LARCH #2	9-3	11-8	14-3	16-6	8-3	10-5	12-9	14-9
	HEM-FIR #2	8-9	11-4	13-10	16-1	8-0	10-2	12-5	14-4
	SPRUCE-PINE-FIR #2	8-11	11-6	14-1	16-3	8-1	10-3	12-7	14-7
	DOUGLAS FIR-LARCH #1	9-11	13-1	16-5	19-1	9-8	12-4	15-0	17-5
	DOUGLAS FIR-LARCH #2	9-9	12-9	15-7	18-1	9-3	11-8	14-3	16-6
	HEM-FIR #1	9-6	12-7	16-0	18-10	9-6	12-2	14-10	17-2
16	DOUGLAS FIR-LARCH #1	9-11	13-1	16-5	19-1	9-8	12-4	15-0	17-5
	DOUGLAS FIR-LARCH #2	9-9	12-9	15-7	18-1	9-3	11-8	14-3	16-6
	HEM-FIR #1	9-6	12-7	16-0	18-10	9-6	12-2	14-10	17-2
	HEM-FIR #2	9-1	12-0	15-2	17-7	8-11	11-4	13-10	16-1
	SPRUCE-PINE-FIR #1	9-4	12-3	15-5	17-10	9-1	11-6	14-1	16-3
	SPRUCE-PINE-FIR #2	9-4	12-3	15-5	17-10	9-1	11-6	14-1	16-3
19.2	DOUGLAS FIR-LARCH #2	9-2	11-8	14-3	16-6	8-5	10-8	13-0	15-11
	HEM-FIR #2	8-7	11-3	13-10	16-1	8-2	10-4	12-8	14-8
	SPRUCE-PINE-FIR #2	8-9	11-6	14-1	16-3	8-3	10-6	12-10	14-10
	DOUGLAS FIR-LARCH #1	8-3	10-5	12-9	14-9	7-6	9-6	11-8	13-6
	HEM-FIR #2	7-11	10-2	12-5	14-4	7-4	9-3	11-4	13-1
	SPRUCE-PINE-FIR #2	8-1	10-3	12-7	14-7	7-5	9-5	11-6	13-4

NOTE: CHECK SOURCES FOR AVAILABILITY OF LUMBER IN LENGTHS GREATER THAN 20 FEET.

JOIST SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 10 psf				DEAD LOAD = 20 psf			
		2x6	2x8	2x10	2x12	2x6	2x8	2x10	2x12
		(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)	(ft.-in.)
12	DOUGLAS FIR-LARCH #2	10-9	14-2	18-0	20-11	10-8	13-6	16-5	19-1
	HEM-FIR #2	10-0	13-2	16-10	20-4	10-0	13-1	16-0	18-6
	SPRUCE-PINE-FIR #2	10-3	13-6	17-3	20-7	10-3	13-3	16-3	18-10
	DOUGLAS FIR-LARCH #1	9-11	13-1	16-5	19-1	9-8	12-4	15-0	17-5
	DOUGLAS FIR-LARCH #2	9-9	12-9	15-7	18-1	9-3	11-8	14-3	16-6
	HEM-FIR #1	9-6	12-7	16-0	18-10	9-6	12-2	14-10	17-2
16	DOUGLAS FIR-LARCH #1	9-11	13-1	16-5	19-1	9-8	12-4	15-0	17-5
	DOUGLAS FIR-LARCH #2	9-9	12-9	15-7	18-1	9-3	11-8	14-3	16-6
	HEM-FIR #1	9-6	12-7	16-0	18-10	9-6	12-2	14-10	17-2
	HEM-FIR #2	9-1	12-0	15-2	17-7	8-11	11-4	13-10	16-1
	SPRUCE-PINE-FIR #1	9-4	12-3	15-5	17-10	9-1	11-6	14-1	16-3
	SPRUCE-PINE-FIR #2	9-4	12-3	15-5	17-10	9-1	11-6	14-1	16-3
19.2	DOUGLAS FIR-LARCH #2	9-2	11-8	14-3	16-6	8-5	10-8	13-0	15-11
	HEM-FIR #2	8-7	11-3	13-10	16-1	8-2	10-4	12-8	14-8
	SPRUCE-PINE-FIR #2	8-9	11-6	14-1	16-3	8-3	10-6	12-10	14-10
	DOUGLAS FIR-LARCH #1	8-3	10-5	12-9	14-9	7-6	9-6	11-8	13-6
	HEM-FIR #2	7-11	10-2	12-5	14-4	7-4	9-3	11-4	13-1
	SPRUCE-PINE-FIR #2	8-1	10-3	12-7	14-7	7-5	9-5	11-6	13-4

CHECK SOURCES FOR AVAILABILITY OF LUMBER IN LENGTHS GREATER THAN 20 FEET

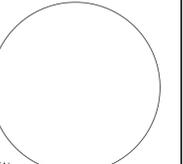
RAFTER SLOPE	RAFTER SPACING (inches)	GROUND SNOW LOAD (psf)											
		30 psf				50 psf				70 psf			
		ROOF SPAN (feet)											
		12	20	28	36	12	20	28	36	12	20	28	36
3:12	12	4	6	8	11	5	8	12	15	6	11	15	20
	16	5	8	11	14	6	11	15	20	8	14	20	26
	24	7	11	16	21	9	16	23	30	12	21	30	39
4:12	12	3	5	6	8	4	6	9	11	5	8	12	15
	16	4	6	8	11	5	8	12	15	6	11	15	20
	24	5	9	12	16	7	12	17	22	9	16	23	29
5:12	12	3	4	5	7	3	5	7	9	4	7	9	12
	16	3	5	7	9	4	7	9	12	5	9	12	16
	24	4	7	10	13	6	10	14	18	7	13	18	23
7:12	12	3	3	4	5	3	4	5	7	3	5	7	9
	16	3	4	5	6	3	5	7	9	4	6	9	11
	24	3	5	7	9	4	7	10	13	5	9	13	17
9:12	12	3	3	3	4	3	4	5	7	3	4	5	7
	16	3	3	4	5	3	4	5	7	3	5	7	9
	24	3	4	6	7	3	6	8	10	4	7	10	13
12:12	12	3	3	3	3	3	3	4	5	3	3	4	5
	16	3	3	3	4	3	3	4	5	3	4	5	7
	24	3	3	4	6	3	4	6	8	3	6	8	10

- a. 40D BOX NAILS SHALL BE PERMITTED TO BE SUBSTITUTED FOR 16D COMMON NAILS.
- b. NAILING REQUIREMENTS SHALL BE PERMITTED TO BE REDUCED 25 PERCENT IF NAILS ARE CLINCHED.
- c. HEEL JOINT CONNECTIONS ARE NOT REQUIRED WHEN THE RIDGE IS SUPPORTED BY A LOAD-BEARING WALL, HEADER OR RIDGE BEAM.
- d. WHERE INTERMEDIATE SUPPORT OF THE RAFTER IS PROVIDED BY VERTICAL STRUTS OR PURLINS TO A LOAD-BEARING WALL, THE TABULATED HEEL JOINT CONNECTION REQUIREMENTS SHALL BE PERMITTED TO BE REDUCED PROPORTIONALLY TO THE REDUCTION IN SPAN.
- e. EQUIVALENT NAILING PATTERNS ARE REQUIRED FOR CEILING JOIST TO CEILING JOIST LAP SPLICES.
- f. WHERE RAFTER TIES ARE SUBSTITUTED FOR CEILING JOISTS, THE HEEL JOINT CONNECTION REQUIREMENT SHALL BE TAKEN AS THE TABULATED HEEL JOINT CONNECTION REQUIREMENT FORTWO-THIRDS OF THE ACTUAL RAFTER SLOPE.
- g. APPLIES TO ROOF LIVE LOAD OF 20 PSF OR LESS.
- h. TABULATED HEEL JOINT CONNECTION REQUIREMENTS ASSUME THAT CEILING JOISTS OR RAFTER TIES ARE LOCATED AT THE BOTTOM OF THE ATTIC SPACE. WHEN CEILING JOISTS OR RAFTER TIES ARE LOCATED HIGHER IN THE ATTIC, HEEL JOINT CONNECTION REQUIREMENTS SHALL BE INCREASED BY THE FOLLOWING FACTORS:

TABLE R602.3(1)
FASTENING SCHEDULE

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
Roof			
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2 1/2" x 0.133") or 3-8d common (2 1/2" x 0.131") or 3-10d box (3" x 0.128") or 3-3" x 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2 1/2" x 0.133") or 3-8d common (2 1/2" x 0.131") or 3-10d box (3" x 0.128") or 3-3" x 0.131" nails	Per joist, toe nail
3	Ceiling joist not attached to parallel rafter, laps over partitions [see Section R802.3.1, R802.3.2, Table R602.5.1(9)]	4-10d (3" x 0.128") or 3-10d common (3 1/2" x 0.162") or 3-3" x 0.131" nails	Face nail
4	(heel joint) [see Section R802.3.1, R802.3.2, and Table R602.5.1(9)]	Table R602.5.1(9)	Face nail
5	Collar tie to rafter, face nail or 1 1/4" x 20 gage ridge strap to rafter	4-10d (3" x 0.128") or 3-10d common (3" x 0.148") or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-10d boxnails (3 1/2" x 0.135") or 3-10d common nails (3" x 0.148") or 4-10d (3" x 0.128") or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley, or hip rafters; or roof rafter to minimum 2-inch ridge beam	4-10d (3" x 0.128") or 3-10d common (3 1/2" x 0.162") or 3-10d box (3" x 0.128") or 3-3" x 0.131" nails	Toe nail
Wall			
8	Stud to stud (not at braced wall panels)	16d common (3 1/2" x 0.162") or 10d box (3" x 0.128") or 3" x 0.131" nails	24" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d box (3 1/2" x 0.135") or 3" x 0.131" nails	16" o.c. face nail
10	Built-up header (2" to 2" header with 1/2" spacer)	16d common (3 1/2" x 0.162") or 16d box (3 1/2" x 0.162")	16" o.c. each edge face nail
11	Continuous header to stud	5-8d box (2 1/2" x 0.113") or 4-8d common (2 1/2" x 0.131") or 4-10d box (3" x 0.128")	Toe nail
12	Top plate to top plate	16d common (3 1/2" x 0.162")	16" o.c. face nail
13	Double top plate splice for SDCs A-D with seismic braced wall line spacing < 25'	8-16d common (3 1/2" x 0.162") or 12-16d box (3 1/2" x 0.135") or 12-10 box (3" x 0.128") or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
14	Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common (3 1/2" x 0.162") or 16d box (3 1/2" x 0.135") or 3" x 0.131" nails	16" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panels)	3-16d (3 1/2" x 0.135") or 2-16d common (3 1/2" x 0.162") or 4-3" x 0.131" nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2 1/2" x 0.113") or 3-16d box (2 1/2" x 0.135") or 4-8d common (2 1/2" x 0.131") or 4-10d box (3" x 0.128") or 4-3" x 0.131" nails	Toe nail
17	Top plates, laps at corners and intersections	3-16d box (2 1/2" x 0.135") or 2-16d common (3 1/2" x 0.162") or 3-3" x 0.131" nails	face nail
18	1" brace to each stud and plate	3-8d (2 7/8" x 0.113") or 2-8d common (2 1/2" x 0.131") or 2-10d box (3" x 0.128") or 2 staples 1 3/4"	face nail

19	1" x 6" sheathing to each bearing	3-8d box (2 1/2" x 0.113") or 2-8d common (2 1/2" x 0.131") or 2-10d box (3" x 0.128") or 2 staples, 1" crown, 16 ga., 1.3/4" long	face nail
20	1" x 8" and wider sheathing to each bearing	3-8d box (2 1/2" x 0.113") or 3-8d common (2 1/2" x 0.131") or 3-10d box (3" x 0.128") or 3 staples, 1" crown, 16 ga., 1.3/4" long Wider than 1" x 8" 4-8d box (2 1/2" x 0.113") or 3-8d common (2 1/2" x 0.131") or 3-10d box (3" x 0.128	



SEAL
LICENSE NO: 42302

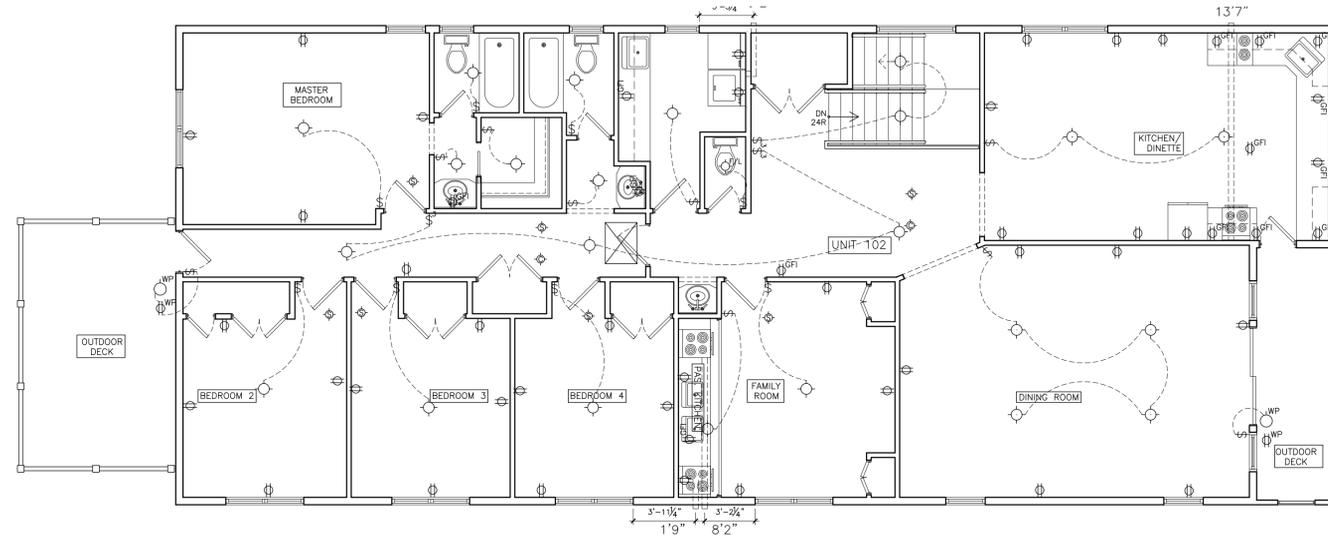
PROPOSED TWO FAMILY RESIDENCE FOR:

21 COLLINS AVE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

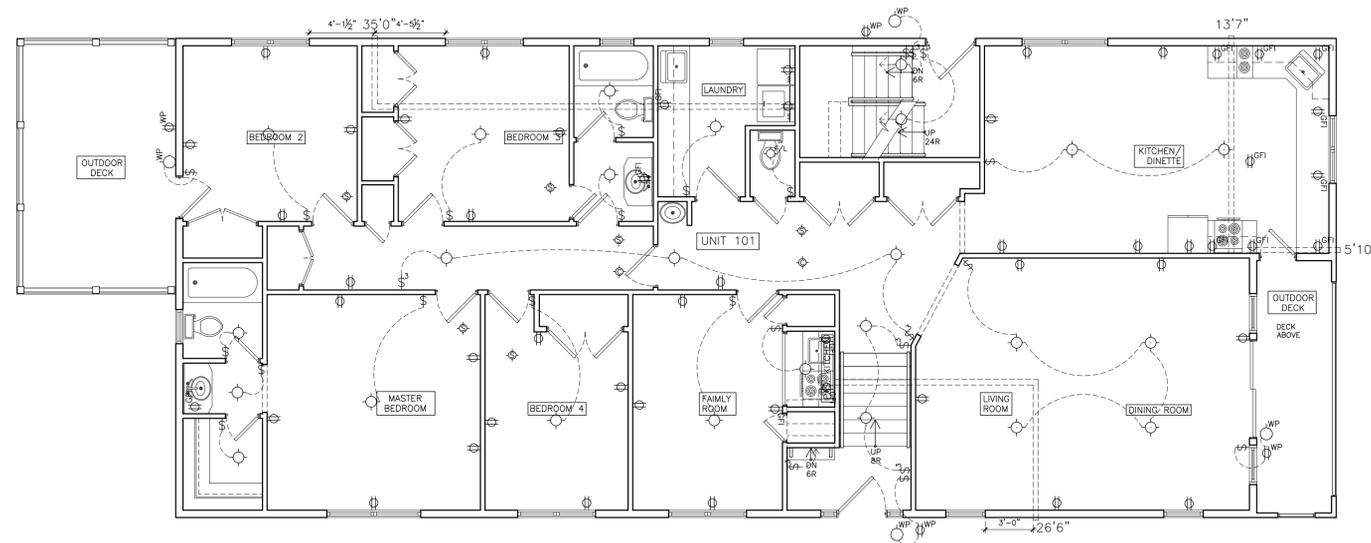
Project No. COL101
Drawn By: LH
Reviewed By: PS
Date: OCT 31, 2019

Revisions:

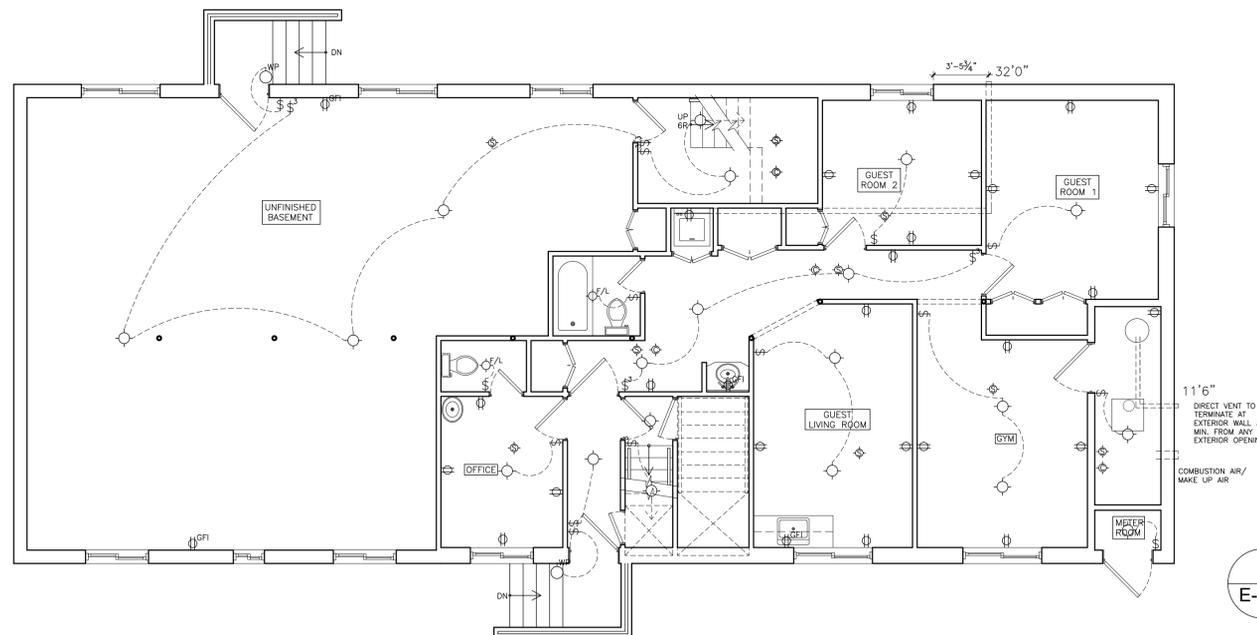
E-101



1 SECOND FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



3 BASEMENT ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL SYMBOLS

- Ⓢ — SINGLE POLE SWITCH
- Ⓢ³ — 3 WAY SWITCH
- Ⓢ^T — TIMER SWITCH
- Ⓞ — DUPLEX OUTLET
- Ⓞ^{WP} — EXTERIOR OUTLET IN WATERPROOF BOX W/ LID
- Ⓞ^{GFI} — GROUND FAULT INTERRUPT OUTLET
- ▲ — TELEPHONE JACK
- — WALL MOUNTED SURFACE INCANDESCENT LIGHT FIXTURE
- ^{LWP} — EXTERIOR WALL MOUNTED SURFACE INCANDESCENT LIGHT FIXTURE W/ WATERPROOF COVER
- — CEILING MOUNTED SURFACE INCANDESCENT LIGHT FIXTURE AS SELECTED BY OWNER
- Ⓞ — CEILING MOUNTED RECESSED INCANDESCENT LIGHT FIXTURE AS SELECTED BY OWNER
- Ⓞ^{WP} — CEILING MOUNTED WATERPROOF RECESSED INCANDESCENT LIGHT FIXTURE AS SELECTED BY OWNER
- Ⓞ^{F/L} — CEILING MOUNTED DUCTED EXHAUST FAN W/ LIGHT FIXTURE
- Ⓞ — HARD WIRED SMOKE DETECTOR— CEILING MOUNTED
- Ⓞ — CARBON MONOXIDE DETECTOR CEILING MOUNTED
- Ⓞ — DOOR BELL CHIME
- DOOR BELL PUSH-BUTTON

Amendment to original Application For
9 LaFayette street.

APPLICATION REVIEW FORM

Name of Municipality Spring Valley Date 12/8/19

Please check all that apply

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input checked="" type="checkbox"/> Zoning Board of Appeals <i>(Fill out Part II of this form)</i>	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Number of lots	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Final
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Conditional Use
<input checked="" type="checkbox"/> Zoning Variance	<input type="checkbox"/> Zone Change
	<input type="checkbox"/> Other

Project Name: Lucrative LLC / Valuable LLC
Tax Map Designation: Section 57.40 Block 1 Lot 44.3 - 44.4 + 44.5
Section _____ Block _____ Lot _____
Section _____ Block _____ Lot _____

Property Location: On the West side of LaFayette street
Direction Street Name
150 feet North from the intersection of white street and
Number Direction Street Name
LaFayette street in the Village of Spring Valley, County of Rockland,
Street Name
Town of Clarkstown

Acreage of Parcel 7500 SF Zoning District R-2
School District east Ramapo Postal District Spring Valley
Fire District Spring Valley Ambulance District Spring Hill
Water District Suez Sewer District RCSP #1

Project Description *(If additional space is required, please attach a narrative summary)*

Construct 3 two Family Homes

APPLICATION REVIEW FORM

If Subdivision:

- 1) Is any variance from the subdivision regulation required? NO
- 2) Is any open space being offered? _____ If so, what amount _____
- 3) Is this standard or average density subdivision? _____

If Site Plan:

- 1) Total size of building or buildings in square feet. NO
- 2) Proposed addition. _____
- 3) Number of dwelling units. _____
 - a) Number of one (1) bedroom units. _____
 - b) Number of two (2) bedroom units. _____
 - c) Number of three (3) bedroom Units. _____
 - d) Other dwelling units. _____

If special permit, list the special permit use and what the property will be used for:

NONE

Are their slopes greater than 25%? If so, please indicate the amount and show the gross and net area. NO

Are there any streams on the site? If yes, please provide the names. NO

Are there any wetlands on the site? If yes please provide the names and type. NO

Project History: Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name date, and Board you appeared before. _____

List tax map section, block and lot numbers for all other abutting properties in the same ownership as this project. _____

Applicant: Mordechai Bixenspan Phone # _____
(print or type name)

Address: 32 Nissan Court, Monsey NY 10952
(street no. and name) (post office) (state) (zip code)

Property Owner: Lucrative LLC/Valuable LLC Phone # _____
(print or type name)

Address: C Blue Sky Drive, Suffern, NY 10901
(street no. and name) (post office) (state) (zip code)

APPLICATION REVIEW FORM.

Engineer: Anthony Celenzano Phone# 429-5290
Address: 31 Rosman Road, Thiells, NY 10984

Architect: Address: Phone #: (street no. and name) (post office) (state) (zip code)

Surveyor: same as above Phone #: (street no. and name) (post office) (state) (zip code)

Attorney: Licata + Cowklin Phone #: 357-4242
Address: 5501 Turnpike Road, Suite 606, Nanuet, NY 10954

Contact Person: Address: Phone #: (street no. and name) (post office) (state) (zip code)

THIS PROPERTY IS WITHIN 500 FEET OF:

If any item is checked, the Rockland County Commissioner of Planning must do a review under the State General Municipal Law, sections 239 k, l, m, and n.

- State or County Road
Long Path
Municipal Boundary
State or County Park
County Stream
County Facility

List all names of facilities checked above: Town of Clarkstown

Referral Agencies: (Please make sure that the appropriate agencies as needed receive copies of your application and plans for their review and comment.)

- Rockland County Highway
Rockland County Park Commission
Rockland County Drainage Agency
Rockland County Environmental Management Council
Rockland County Soil and Water Conservation District
Rockland County Department of Environmental Health
New York State Department of Transportation
New York State Department of Environmental Conservation
New York State Thruway Authority
Palisades Interstate Park Commission
Rockland County Sewer District
Adjacent Municipality

(name the municipality)

APPLICATION REVIEW FORM

TO ALL APPLICANTS "YOU MUST SEND COPIES OF THE APPLICATION AND THE PLANS TO:"

Mr. William Speckenbach, Regional Manager
C/o Orange and Rockland Utilities
75 West Route 59
Spring Valley, New York 10977

I have informed the above checked agencies and Orange and Rockland on _____ (date)

Name: Mordechai Bixenspan (print or type) Signature: X M B Bixenspan (sign)

APPLICANT'S SIGNATURE AND CERTIFICATION:

State of New York)
County of Rockland) SS:
Town/Village of Spring Valley

I, Mordechai Bixenspan (please print), hereby deposes and says that all the above statements contained in the papers submitted herewith are true.

X M B Bixenspan
(signature)

Mailing Address: _____

AFF
SWORN to before this
8th day of December, 2019

[Signature]
(Notary Public)

JAMES D. LICATA, No. 4846023
NOTARY PUBLIC, State of New York
Qualified in Rockland County
Commission Expires July 31, 2021

APPLICATION REVIEW FORM

OWNER/APPLICANT'S CONSENT FORM TO VISIT THE PROPERTY:

I, Mordechai Bixenspan OWNER OF THE PROPERTY DESCRIBED IN APPLICATION SUBMITTED TO THE VILLAGE OF SPRING VALLEY, VILLAGE BOARD, PLANNING BOARD, ZONING BOARD OF APPEALS AND OR SUPPORTING STAFF, DO HEREBY GIVE PERMISSION TO MEMBERS OF SAID BOARDS AND OR SUPPORTING STAFF TO VISIT THE PROPERTY IN QUESTION AT A REASONABLE TIME DURING THE DAY.

OWNER/APPLICANT: [Signature]
(SIGN)

AFF

~~SWORN~~ to before this
8 day of Dec, 19 2019

[Signature]
(Notary Public)

JAMES D. LICATA, No. 4846023
NOTARY PUBLIC, State of New York
Qualified in Rockland County
Commission Expires July 31, 19

2021

REIMBURSEMENT FOR PROFESSIONAL CONSULTING SERVICES:

The Town/Village Board, Planning Board and Zoning Board of Appeals in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such applications required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the Town/Village for the cost of such consultant services upon receipt of the bill. Such reimbursement shall be made prior to final action on the application. **Permits will not be issued and site plan or subdivision will not be signed until the bill is paid in full.**

Applicant: Mordechai Bixenspan
(Print)

Applicant: [Signature]
(sign)

AFF

~~SWORN~~ to before this
8 day of Dec, 2019

[Signature]
Notary Public

JAMES D. LICATA, No. 4846023
NOTARY PUBLIC, State of New York
Qualified in Rockland County
Commission Expires July 31, 19

2021

APPLICATION REVIEW FORM

AFFIDAVIT OF OWNERSHIP/OWNER'S CONSENT

State of New York

County of Rockland

Town/Village of Springs Valley

I, Mordechai Bixenspan being duly sworn, hereby depose and say that I reside at: 32 Nissan Court In the county of Rockland in the State of

I am the (# Member) owner in fee simple of the premises located at: 13,11+9 LaFayette Street

described in a certain deed of said premises recorded in the Rockland County Clerk's Office in Liber of conveyances, page

Said premises have been in my/its possession since Said premises

are also known and designated on the Town of Clarkstown Tax Map as: Section 57.40 Block 1 Lot(s) 44.3, 44.4, & 44.5

I hereby authorize the within application on my behalf, and that the statements of fact contained in said application are true and agree to be bound by the determination of the Board.

Owners Mailing Address

Owners Telephone Number

Sworn to before this 8 day of Dec, 2019

(Notary Public)

JAMES D. LICATA, No. 4846023 NOTARY PUBLIC, State of New York Qualified in Rockland County Commission Expires July 31, 2021

* If owner is a corporation, fill in the office held by deponent and name of corporation and provide a list of all directors, officers and stockholders owning more than 5% of any class of stock.

Lot # 1

APPLICATION REVIEW FORM

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

Variance from the requirements of Section B-2 - B-2 (c)
1, 2, 4, 5, 6, Street Frontage, Parkings

Special Permit per the requirements of Section _____

Review of a administrative decision of the Building Inspector

An order to issue a Certificate of Occupancy

An order to issue a Building Permit

An interpretation of the Zoning Ordinance or Map

Certification of an existing Non-Conforming structure or use

Other (explain) _____

To permit construction, maintenance and use of 3 two Family Homes.

If any area variance is required, please fill out below:

This application seeks a variance from the provisions of Article B-2-R-2 (c)
Section(s) 1, 2, 4, 5, 6, Street Frontage, Parkings

Lot Area 10,000 SF Required 2500 SF Requested

Lot Width 100' Required 25' Requested

Lot Area _____

Street Frontage 70' Required 25' Requested

Front Yard _____

Side Yard 15' Required 0' Requested

Rear Yard 20' Required 19.3 Requested

Total Side Yard 30' Required 8' Requested

Building Height _____

Number of Stories _____

Floor Area Ratio _____

Number of Parking Spaces 4 Required 2 Requested

Lot # 2

APPLICATION REVIEW FORM

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

Variance from the requirements of Section R-2 - B-2 (c)
1, 2, 4, 5, 6, Street Frontage

Special Permit per the requirements of Section _____

Review of a administrative decision of the Building Inspector

An order to issue a Certificate of Occupancy

An order to issue a Building Permit

An interpretation of the Zoning Ordinance or Map

Certification of an existing Non-Conforming structure or use

Other (explain) _____

To permit construction, maintenance and use of 3 two Family Homes

If any area variance is required, please fill out below:

This application seeks a variance from the provisions of Article B-2-R-2 (c)
Section(s) 1, 2, 4, 5, 6, Street Frontage

Lot Area 10,000 SF Required 2500 SF Requested

Lot Width 100' Required 25' Requested

Lot Area _____

Street Frontage 70' Required 25' Requested

Front Yard _____

Side Yard 15' Required 0' Requested

Rear Yard 20' Required 19.5' Requested

Total Side Yard 30' Required 0' Requested

Building Height _____

Number of Stories _____

Floor Area Ratio _____

Number of Parking Spaces _____

Lot # 3

APPLICATION REVIEW FORM

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

Variance from the requirements of Section B-2 - B-2 (c)
1, 2, 4, 6, Street Frontage, Parkings

Special Permit per the requirements of Section _____

Review of a administrative decision of the Building Inspector

An order to issue a Certificate of Occupancy

An order to issue a Building Permit

An interpretation of the Zoning Ordinance or Map

Certification of an existing Non-Conforming structure or use

Other (explain) _____

To permit construction, maintenance and use of 3 two Family Homes.

If any area variance is required, please fill out below:

This application seeks a variance from the provisions of Article B-2-R-2 (c)
Section(s) 1, 2, 4, 6, street Frontage, Parkings

Lot Area 10,000 SF Required 2500' Requested _____

Lot Width 100' Required 25' Requested _____

Lot Area _____

Street Frontage 70' Required 25' Requested _____

Front Yard _____

Side Yard 15' Required 0' Requested _____

Rear Yard _____

Total Side Yard 30' Required 8' Requested _____

Building Height _____

Number of Stories _____

Floor Area Ratio _____

Number of Parking Spaces 4 Required 2 Requested _____

APPLICATION REVIEW FORM

AFFIDAVIT PURSUANT TO SECTION 809 OF THE GENERAL MUNICIPAL LAW

State of New York)

County of Rockland) SS:

Town/Village of Spring Valley

I, Mordechai Bixenspan, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that the applicant knows them.

1.) Print or type full name and post office address: Mordechai Bixenspan
32 Winslow Court
Monsey, NY 10952

Certifies that he is the owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he/she has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:

2.) To the ZBA Board of the Town/Village of Spring Valley
Rockland County, New York:

APPLICATION, PETITION OR REQUEST IS HEREBY SUBMITTED FOR:

Variance or modification from the requirements of Section(s): B-2-R-2 (c)
1, 2, 4, 5, 6, Street Frontage, Parking

- Special Permit per the requirements of Section(s): _____
- Review and approval of proposed subdivision plat: _____
- Exemption from a plat or official map: _____
- An order to issue a certificate, permit or license: _____
- An amendment to the Zoning Ordinance or Official or change thereof: _____
- Other (explain) _____

To permit construction, maintenance and use of: 3 Two Family Homes

3.) Premises affected are in a R-2 Zone and from the town of Clarkstown
Tax map, the property is known as Section 57.40 Block 1
and lot number(s) 44.3, 44.4 + 44.5.

APPLICATION REVIEW FORM

- 4.) There is no State Officer, Rockland County Officer or employee or Town/Village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchange; or is a member or partner of the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for services rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.
- 5.) That to the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York, or the County of Rockland or of the Town/Village of SPRINGS VALLEY in the petition, request or application or in the property or subject matter to which it relates: (if none, so state)
- a.) Name and address of officer or employee: NONE
- b.) Nature of interest: _____
- c.) If Stockholder, number of shares: _____
- d.) If officer or partner, nature of office and name of partnership: _____
- e.) If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such State, County or Town/Village officer or employee, State name and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in business entity sharing in such ownership.

- f.) In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____

APPLICATION REVIEW FORM

AFFIDAVIT

I, Mordechai Bixenspan do hereby depose and
(PRINT NAME)
say that all the preceding statements and statements contains in the
papers submitted herewith are true, knowing that a person who
knowingly and intentionally violates any section is guilty of a
misdemeanor.

X M Bixenspan
(signature)

(street address or post office box)

(city) (state)

(telephone number)

AFF
~~SWORN~~ to before this
8th day of December, 2019

[Signature]
Notary Public

JAMES D. LICATA, No. 4846023
NOTARY PUBLIC, State of New York
Qualified in Rockland County
Commission Expires July 31, 2019

NARRATIVE
ZONING BOARD OF APPEALS
VILLAGE OF SPRING VALLEY
200 NORTH MAIN STREET
SPRING VALLEY, NEW YORK 10977

APPLICANT: LUCRATIVE LLC/ VALUABLE LLC

PREMISES: 9, 11 & 13 LAFAYETTE STREET, SPRING VALLEY, NEW YORK 10977

SECTION: SECTION 57.40, BLOCK 1, LOTS 44.3, 44.4, & 44.5

The applicant wishes to construct 3 two-family homes on the 3 lots listed above. The applicant wishes to construct starter homes in the amount of 812 square feet per unit. These would be 6 small two-bedroom units for sale. The size of the units would make them more affordable for first home buyers. I have attached a chart to his narrative that indicates our reasoning behind creating 6 small units as opposed to 2 very large units. Two very large units with 7 bedrooms in each would lend itself to overcrowding and potentially creation of a rooming house type situation. I will discuss the attached chart at the zoning meeting.

CHART

ZONING BOARD OF APPEALS

APPLICANT: LUCRATIVE LLC/ VALUABLE LLC

PREMISES: 9, 11 & 13 LAFAYETTE STREET, SPRING VALLEY, NEW YORK 10977

SECTION: SECTION 57.40, BLOCK 1, LOTS 44.3, 44.4, & 44.5

	1 TWO-FAMILY UNITS	3 TWO-FAMILY UNITS
TOTAL SQ FEET	4875 sf two units with 2437 sf per unit	4875 sf - 6 units with 812 sf per unit
TOTAL BEDROOMS	14 seven (7) per unit	14 two (2) per unit

VILLAGE OF SPRING VALLEY

BUILDING DEPARTMENT

200 NORTH MAIN STREET, SPRING VALLEY, N.Y. 10977

TEL (845) 517-1129 • FAX (845) 356-6035

NOTE! INCOMPLETE OR ILLEGIBLE APPLICATION WILL NOT BE PROCESSED. PRINT CLEARLY

App. Date: 2/2/2020	Type Permit: <input checked="" type="checkbox"/> Building <input type="checkbox"/> Plumbing <input type="checkbox"/> Mechanical <input type="checkbox"/> Other	Cost of Construction:	Applicant: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent Has work commenced? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
------------------------	---	-----------------------	--

1. PROPERTY INFORMATION

Street Address: 9, 11, 13 LaFayette St.	<input type="checkbox"/> Existing <input checked="" type="checkbox"/> Vacant Land	Sec./Block/Lot #: 57.40-1 44.3-44.4-44.5	Zoning District: <input type="checkbox"/> R1-A <input checked="" type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> R-5 <input type="checkbox"/> PO <input type="checkbox"/> GB <input type="checkbox"/> NB <input type="checkbox"/> HB <input type="checkbox"/> POR <input type="checkbox"/> PRD <input type="checkbox"/> PLI <input type="checkbox"/> RSH <input type="checkbox"/> FPO
--	--	--	---

2. OWNER INFORMATION

Business Name: Lucrative LLC / Valuable LLC	First & Last Name: MORDECHAI BIKENSPAIN	Phone #: E-Mail:
Street Address: 32 NISSAN COURT	City: MONSEY	State & Zip Code: NY 10952

3. TYPE OF PERMIT

IMPROVEMENT TYPE: <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> Level 1 <input type="checkbox"/> Level 2 <input type="checkbox"/> REPAIR/REPLACEMENT <input type="checkbox"/> DEMOLITION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> RENEWAL _____ <input type="checkbox"/> SOLAR PANEL <input type="checkbox"/> GENERATOR <input type="checkbox"/> DECK <input type="checkbox"/> ROOFING <input type="checkbox"/> FENCE	PROPOSED USE: ASSEMBLY (A) <input type="checkbox"/> Restaurants (A-2) <input type="checkbox"/> Commercial Kitchens (A-2) <input type="checkbox"/> Religious Worship (A-3) <input type="checkbox"/> Funeral Parlors (A-3) BUSINESS (B) <input type="checkbox"/> Clinic – Out Patient <input type="checkbox"/> Assembly < 50 Person or 750 Sq. Ft. FACTORY (F) <input type="checkbox"/> Moderate Hazard (F-1) <input type="checkbox"/> Bakery <input type="checkbox"/> Clothing <input type="checkbox"/> Food Processing <input type="checkbox"/> Woodworking (Cabinet)	INSTITUTIONAL (I) <input type="checkbox"/> Group Home (I-1) <input type="checkbox"/> Convalescent Facility (I-1) <input type="checkbox"/> Daycare Facility (I-4) MERCANTILE (M) <input type="checkbox"/> Pharmacy <input type="checkbox"/> Markets <input type="checkbox"/> Retail <input type="checkbox"/> Whole Sale RESIDENTIAL (R) <input type="checkbox"/> Hotel, Motel (R-1) <input type="checkbox"/> Boarding House (R-1) <input type="checkbox"/> Multi-Family (R-2) <input type="checkbox"/> Dormitory (R-2) <input checked="" type="checkbox"/> Single/Two Family (R-3) <input type="checkbox"/> Detached One/Two Family/Townhouse	STORAGE <input type="checkbox"/> Moderate Hazard (S-1) <input type="checkbox"/> Wax Candle <input type="checkbox"/> Repair Garage <input type="checkbox"/> Low Hazard (S-2) <input type="checkbox"/> Food Product UTILITY & MISC. (U) <input type="checkbox"/> Fence > 6' high <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Shed <input type="checkbox"/> Tanks EDUCATIONAL (E) <input type="checkbox"/> Grades 1 - 12 <input type="checkbox"/> Day Care Facility > 5 children & > 2 ½ yrs
--	---	--	---

4. CONTRACTORS INFORMATION

	NAME	PHONE #	LICENSE #
Applicant			
Architect			
General Contractor			
Surveyor			
Fire Sprinkler			
Fire Alarm			

5. SCOPE OF WORK

Description of Work:

1. ZONING PLAN EVALUATION

SETBACKS	REQUIRED	PROVIDED	CLEAR	GRANTED	NUMBER/SQUARE FEET	PROVIDED
Street Frontage					Existing Residential Units	
Front Yard					New Residential Units	
Rear Yard					Floor Area (exclude stairs)	
Side Yard					Perimeter Area/Floor	
Total Side Yard					Basement Ceiling Height	
Lot Width					Basement % Below Grade	
Lot Area					Fire Sprinkler System	
Floor Area Ratio					Fire Alarm System	
Stories (#)					Truss <input type="checkbox"/> TJI <input type="checkbox"/> floor <input type="checkbox"/> roof	
Height Above Grade					PLANNING BOARD	
Parking in Front Yard					ZONING BOARD	
Parking (Enclosed/Outside)					VILLAGE BOARD	

2. PROJECT DOCUMENTS

TYPE OF DOCUMENT	SUBMITTED			ORIGINAL DATE	REVISION DATE
	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A		
Survey / Site Plan	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A		
Architectural Drawings	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Fire Sprinkler Plan	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Fire Alarm System Connection	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Insurance: Liability Disability Worker's Comp. or Exempt Certificate	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Home Improvement License	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Planning Zoning Village Board	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Sewer District	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
RC Dept. of Health	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
911 Data Enhancement	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Orange & Rockland Utilities	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Suez Water NY	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Fire Inspector	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Special Inspections Statement	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A		
Job Specifications					

3. VALIDATION (Completed By Bldg. Dept.)

Permit Granted for: _____			
Permit #: _____	Date Issued: _____	Date Expires: _____	
Permit Denied: _____			
Permit Fee: _____	C of O Fee: _____	Plumbing Fee: _____	Plumbing fixtures Fee: _____
Renewal Fee: _____	Plan Review Fee (after 2 nd review): _____	Total Fees: _____	

I have examined plans, specs, plot plans and other approvals that are part of this application and find that they are substantially in compliance with applicable codes and approve the same for issuance of a building permit.

Building Code Official

Date

IMPORTANT NOTICES: READ BEFORE SIGNING

New York State Law requires contractors to maintain Worker's Compensation and Disability Insurance for their employees. No permit will be issued unless valid Insurance certificates with the project address and the Village of Spring Valley as the certificate holder are attached with this application. If the contractor believes he/she is exempt from the requirements to provide Worker's Compensation and/or Disability Benefits, the contractor shall complete NYS form CE-200 online @ <https://www.wcb.ny.gov/icexempt/index.jsp>

Work conducted pursuant to a building permit shall be visually inspected by the Building Official and shall conform to the 2017 NYS Supplement; 2015 International Code Family, 2016 NYS Supplement to 2015 IECC, the Code of Ordinances of the Village of Spring Valley, and all other applicable codes, rules and regulations.

It is the owner's or contractor's responsibility to contact the Building Department at 845-517-1129 (Mon – Fri 9:00 a.m. to 4 p.m.) to schedule inspections at least 24 hours before you are ready to have an inspection conducted.

DO NOT PROCEED TO THE NEXT STEP OF CONSTRUCTION NOR ORDER CONCRETE WITHOUT APPROVAL FROM THE BUILDING OFFICIAL. ANY FIELD CHANGE SHALL BE APPROVED IN WRITING BY THE BUILDING OFFICIAL PRIOR TO MAKING THE CHANGE.

THE STRUCTURE SHALL NOT BE OCCUPIED OR USED UNTIL A CERTIFICATE OF OCCUPANCY OR COMPLIANCE HAS BEEN ISSUED BY THE BUILDING OFFICIAL.

Work undertaken pursuant to this permit is conditioned upon and subject to any state and federal regulations relating to asbestos material.

The Building Permit Certificate shall be displayed so as to be visible from the street.

CERTIFICATION

I hereby certify that I have read and examined this document and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified or not. I further certify that I am the owner or the owner's authorized agent and that the proposed work is authorized by the owner. I understand that work shall not begin until the permit is issued by this department, that I am responsible for calling for all required inspections, that work shall be accessible for inspection, that a final inspection, approval and Certificate of Occupancy are required prior to occupying this building. Fees are non-refundable, except when the permit and construction are cancelled before work begins, in which case the applicant may apply for a partial refund in accordance with the refund policy. This permit application is only for work described above. Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the time of work is commenced.

Mondechai Bixenspan

PRINT OWNER/AGENT NAME

x M Bixenspan

OWNER/AGENT SIGNATURE

AFFIRMED to before me this

3 day of Feb, 2020

[Signature]
Notary Public

JAMES D. LICATA, No. 4846023
NOTARY PUBLIC, State of New York
Qualified in Rockland County
Commission Expires July 31, 18

[Handwritten mark]

REQUIRED INSPECTIONS OF CONSTRUCTION

(You shall call for applicable inspections)

- Footing Forms** – (before ordering concrete) When excavation is completed, forms and re-bars are in place, shall have surveyor's mark-out for front, rear and side yard. _____

- Foundation Wall** – (before ordering concrete) When forms and re-bars are in place, shall mark-out finished first floor elevation. _____

- Plumbing Under Slab** – (before connecting to R.C.S.D. #1) When sand, pipes and straps are in place, shall pressurize pipes with water or air. _____

- Gravel Under Slab** – (before ordering concrete) When gravel, vapor barrier, wire mesh and perimeter insulation (if applicable) are in place. _____

- Foundation Backfill** – When footing drains, waterproofing, wall bracing and insulation (as may be applicable) are in place. _____

- Sewer Connection** – Call R.C.S.D. #1 (845-365-6111) for inspection.

- Framing, Rough Plumbing, Fire Sprinkler Roughing, Fireblocking, Electrical Roughing, Fire Alarm Roughing and Penetrations Sealing** – All shall be completed, plumbing pipes (water & gas) shall be pressurized, all nail plates and metal straps shall be installed, electrical roughing under writer certificate shall be provided.

- Insulation** – When all insulation and sound transmission are installed. _____

- Final** – When you have completed the application for final inspection & certificate of occupancy (provided by the Building Department). _____

- Operating Permit Obtained** – (Multiple Dwellings and Commercial Buildings) For safeguards during construction and demolition _____.

Mordecha Bixenspat
PRINT OWNER/AGENT NAME


OWNER/AGENT SIGNATURE

2/3/2020
DATE

EROSION & SEDIMENT CONTROL

ALL CONSTRUCTION SITES WITHIN THE VILLAGE OF SPRING VALLEY SHALL BE IN FULL CONTINUOUS COMPLIANCE WITH THE SPRING VALLEY STORMWATER MANAGEMENT AND EROSION & SEDIMENT CONTROL LAW.

ANY CONSTRUCTION SITE NOT IN COMPLIANCE WITH THESE MINIMUM REQUIREMENTS WILL BE ISSUED A STOP WORK ORDER AND NO INSPECTION WILL BE CONDUCTED UNTIL PROPERTY IS IN COMPLIANCE.

Site Preparation and Management:

The contractor shall plan and schedule activities to install, inspect, maintain and remove erosion and sediment control practices as the project landscape changes during construction. Management activities shall include, but shall not limited to:

- Developing a solid waste disposal plan.
- Creating a safety program that incorporates spill prevention and response.
- Coordinating maintenance activities to reduce dust and offsite tracking of sediment.

Maintenance:

- The site entrance shall be maintained in a manner that will prevent tracking of sediment into public rights-of-way or streets.
- Inspect all entrances after a rainfall event.
- Periodically top dressing with additional aggregate may be required. If some stones becomes too dirty to keep the road clean, the stone shall be removed and replaced.
- All sediment and aggregate spilled, dropped or washed into public rights-of-ways or streets shall be removed immediately.
- All sediment shall be prevented from entering storm drains, ditches or water courses.
- A properly designated area shall be establish and properly maintain for concrete truck washout.
- Dust shall be control to prevent off-site damage, health hazards and traffic safety problems.
- Silt Fence shall be installed as indicated on the survey and maintained properly installed at all times.

WASTE DISPOSAL

Garbage dumpster shall not be placed on the right-of-way or street and shall be removed from the site as soon as the dumpster is full. The location of the dumpster shall be indicated on the survey.

[effective 6/1/2018]

LAW OFFICE
LICATA & CONKLIN
55 Old Turnpike Road Suite 606
Nanuet, New York 10954

James D. Licata*
Robert V. Conklin**

P: 845-357-4242

F: 845-357-4574

* Admitted in N.Y., N.J. & Washington, D.C.
** Admitted in N.Y. and C.T.

May 18, 2020

Spring Valley ZBA
Village of Spring Valley
200 North Main Street
Spring Valley, New York 10977

Re: Final ZBA Application for
Premises: 9-11-13 Lafayette Street
Spring Valley, New York 10977

Dear Chairman Hopstein & ZBA Board Members,

Kindly let this letter serve to confirm that this office represents the applicant for property located at 9-11-13 Lafayette Street in the Village of Spring Valley. As part of the ZBA review the Rockland County Department of Planning has supplied a letter dated March 30, 2020 pursuant to section 239 of the General municipal Law. The purpose of this review is the property's proximity to the Town of Clarkstown. The Planning Department review issued a modification along with 15 comments.

The applicant is requesting an override for the general disapproval and comments #1, 2, 3, & 4. The balance of the comments are acceptable to the applicant and will be addressed.

As to the general disapproval and #1 of the GML letter dated October 3, 2019

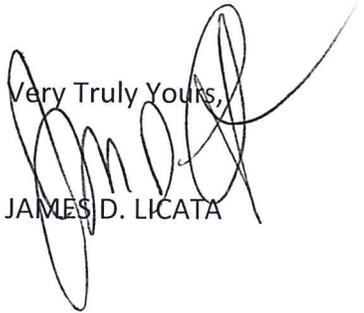
1. Applicant has applied to the Spring Valley Zoning Board of Appeals for variances from the Zoning regulations. This is a use permitted as of right by the Code. The applicant will comply with all zero net runoff regulations. There is adequate public water and sewer capacity. The applicant will pay the sewer impact fee. This is a desired re-development of an existing neighborhood with smaller lot sizes. Sufficient onsite parking is provided. The housing will comply with all current regulations including fire suppression and 2020 Building Code

OVERRIDE REQUESTED

2. As to comment #2, 3, & 4 applicant is within his right to request variances for the existing standards which are explained in comment #1. Cumulative effect is something that must be considered County wide and not on an individual applicant. The construction of six units of affordable size (813 sf) is beneficial to the Village as

small units are not available within the Village. (See attached chart)

OVERRIDE REQUESTED

Very Truly Yours,

JAMES D. LICATA

Spring Valley ZBA 9-11-13 Lafayette Avenue

9-11-13 LAFAYETTE AVENUE		
NUMBER OF HOMES	1 TWO FAMILY	3 TWO FAMILY
TOTAL SQ FEET	4875 SF	4875 SF
NUMBER OF UNITS	2 UNITS - 2437.50 EACH	6 UNITES - 812.50 EACH
TOTAL BEDROOMS	14 BEDROOMS	14 BEDROOMS
<p>The construction of 3 two family homes will result in the same number of square feet and number of bedrooms as 1 two family home. The six-unit plan will allow six 812.50 sq. feet units. These units can be sold for a much lower price than the larger units. It will also prevent any overcrowding that could occur with larger units.</p>		