

AGENDA:

**Village of Spring Valley
200 North Main Street
Spring Valley, New York 10977
845-352-1100**

**Alan Simon
Mayor**

**Planning Board Agenda
August 31st, 2020
7:00pm**

13-15 Bethune Blvd-Final

Proposed: Multi-Family Dwelling

Location: on the West side of Bethune Blvd, 410 feet South from the Intersection of Ewing Ave and Bethune Blvd in a PRD

Applicant: Shulem Schick

14 Rose Ave- Final

Proposed: Office Building

Location: On the east side of Rose Ave, 245 ft south of Ewing Ave

Applicant: 14 Rose LLC

324 Rt 59- Intent

Proposed: Two Story Building

23 Lawrence St-consideration of Negative Declaration

Proposed: Office Building

MEMORANDUM

TO: Village of Spring Valley Planning Board
FROM: Michael D. Kauker, PP, AICP
Principal
DATE: August 28, 2020
SUBJECT: **13-15 Bethune Boulevard**
Review # 5

The following materials were received and reviewed by this office:

1. Site Plan consisting of 6 sheets prepared by Anthony R. Celentano, P.E.
 - a. Sheet 1 of 6: Proposed Planimetric Plan dated August 11, 2019 last revised 8/11/20.
 - b. Sheet 2 of 6: Proposed Grading & Utility Plan dated August 11, 2019 last revised 8/11/20.
 - c. Sheet 3 of 6: Proposed Erosion Control Plan dated August 11, 2019 last revised 8/11/20.
 - d. Sheet 4 of 6: Proposed Landscaping & Lighting Plan dated August 11, 2019 last revised 8/11/20.
 - e. Sheet 5 of 6: Survey dated July 30, 2019.
 - f. Sheet 6 of 6: Detail sheet dated August 8, 2020.
2. Building Plans consisting of 5 sheets Hartman designs:
 - a. Sheet A-103 dated July 17, 2020.
 - b. Sheet A-104 dated July 17, 2020.
 - c. Sheet A-105 dated July 17, 2020.
 - d. Sheet A-201 dated August 10, 2020.
 - e. Sheet A-202 dated August 10, 2020.
3. Application Form dated 8/12/19.
4. SEQRA Short Environmental Assessment Form dated 8/16/19.
5. SEQRA SEAF Part 3 prepared by Celentano Engineering, PLLC dated November 30, 2019.
6. Drainage Calculations prepared by Celentano Engineering, PLLC dated November 30, 2019.

The following comments are submitted regarding this application for the Planning Boards consideration:

Introduction

The applicant has submitted an application for site plan in order to construct an 18-unit multiple-family development, a reduction in units from 24 as initially proposed. The subject property is located on the west side of Bethune Boulevard between Clinton Street to the north and White Street to the south. The site has an area of 27,228 square feet and is located within the PRD Planned Residential Development Overlay District. The proposed development will require site

plan approval from the Planning Board, a special permit from the Village Board and variances from the ZBA.

Application Status

The applicant is on for a public hearing before the Planning Board and it is the applicant's third appearance before the Planning Board.

State Environmental Quality Review Act (SEQRA)

Pursuant to SEQRA regulations this action is identified as an unlisted action. The Planning Board has taken the following actions related to the SEQRA review:

- Declaration of intent to be Lead Agency: September 5, 2019
- Declaration of Lead Agency: November 7, 2019
- Adoption of Part 2: November 7, 2019
- Adoption of Negative Declaration: February 6, 2020.

Board Action

The Planning Board can vote on the application if they so desire.

General Comments

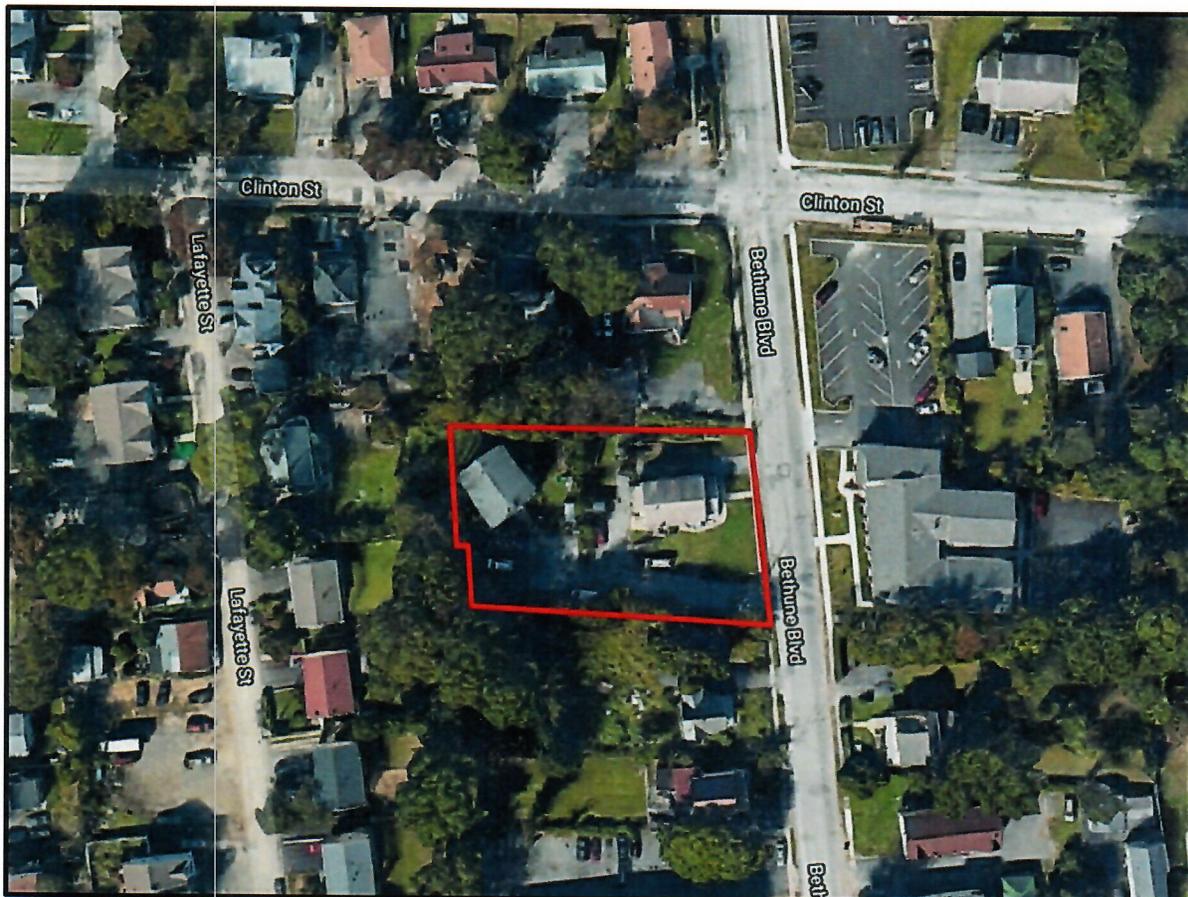
1. A review of the Building Elevations specifically the rear facade depicts a massive rear façade without much articulation. Building articulation to break up the rear façade should be provided. Offsets in elevation or alternating patterns and types of windows should be considered.
2. The building footprint on the site plan and architectural plans do not seem to match. This should be addressed by the applicant. Specifically, the front of the building shows two indents on the site plan where the architectural plans shows none.
3. The proposed grading and existing conditions should only be shown on site plan sheets that relate to those elements. For example, they do not need to be provided on the planimetric plan or landscape and lighting plan among others.
4. A proposed wall with a fence located on top has been added to the plan. The proposed wall will be located along the side and rear yards. The detail depicts a 6-foot wall with a 3-foot fence. Details on the fence shall be provided. The applicant should provide testimony regarding the need and purpose of the wall and how it affects the proposed grading of the property. The Planning Board should consider any potential impacts that the wall and change in grade may have on the neighboring properties.
5. Additional landscaping should be provided in the front yard between the building and the street. I would recommend a berm with evergreen trees.
6. I would recommend a more residential type lighting fixture be provided.

Property Description

The subject property is an interior lot located on the west side of Bethune Boulevard between Clinton Street to the north and White Street to the south in the PRD District. The property has a lot area of 27,228 square feet. The property is currently occupied by two structures.

The subject property is surrounded primarily by residential uses.

The aerial photograph below shows the subject property and its relationship to the surrounding neighborhood.

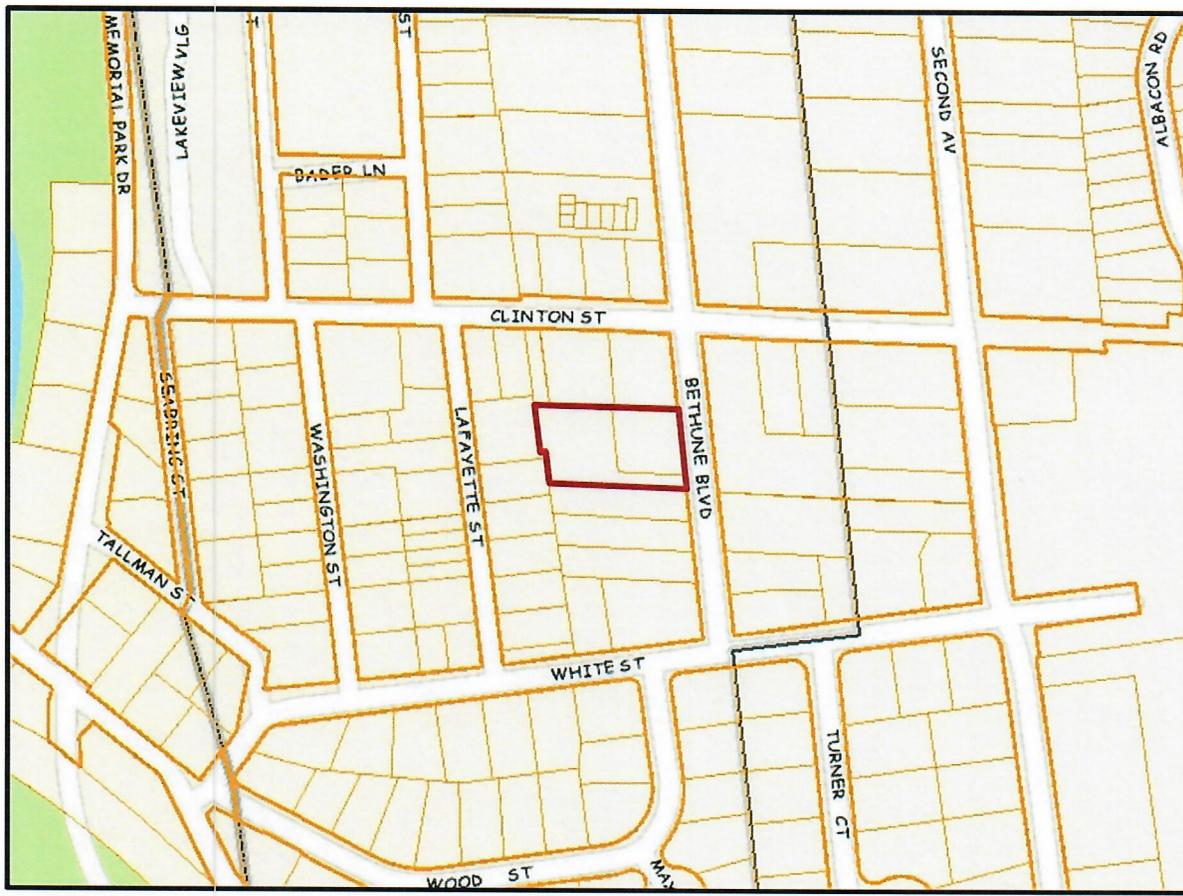


Aerial Map

Source: Google Earth



The following map shows the lot that is the subject of this application in relation to the other lots in the area.



Tax Map

Source: Rockland County GIS



Proposed Development

The applicant's proposal consists the construction of a three-story 18-unit multi-family dwelling. The proposed building will be situated near the northerly side lot line and the parking area is located to the south of the building. The applicant should provide the number of bedrooms for each unit. Access is provided from one curb cut along Bethune Boulevard. The dimension of the drive aisle width is 24 feet. There are 36 parking spaces proposed, where 36 would be required. The dimensions of the parking spaces are 8 feet by 18 feet, where 9 feet by 18 feet is required. A play area is shown to the west of the proposed building within the rear yard. A garbage dumpster area and snow removal area are shown in a small area to the west of the parking lot. There are no details provided.

Zoning Ordinance

- Permitted Uses – The subject property is located within the Village’s PRD Planned Residential Development Overlay District. Permitted uses in the PRD District include One-family detached dwellings, Churches or other places of worship, Convents, Uses of the Village of Spring Valley, Uses of other governments, Public schools, One-family semiattached dwellings and Two-family detached dwellings. The proposed multi-family use is permitted by special permit form the village board in the PRD District.
- Bulk and Area Requirements – The following table compares the proposed development to the bulk and area requirements of the zoning ordinance.

Zoning Requirements	Required	Prior Proposed	Now Proposed
Lot Area	20,000	27,228	27,228
Lot Width	150	124.71 (V)	124.71 (V)
Front Yard	30	25 (V)	20 (V)
Side Yard	20	15 (V)	10 (V)
Total Side Yard	40	61	78
Rear Yard	50	29.2 (V)	30
Bldg. Ht. (ft/st.)	40/3	40/3	
FAR	0.6	0.7 (V)	0.665 (V)

The applicant requires several variances for this proposed development as identified above.

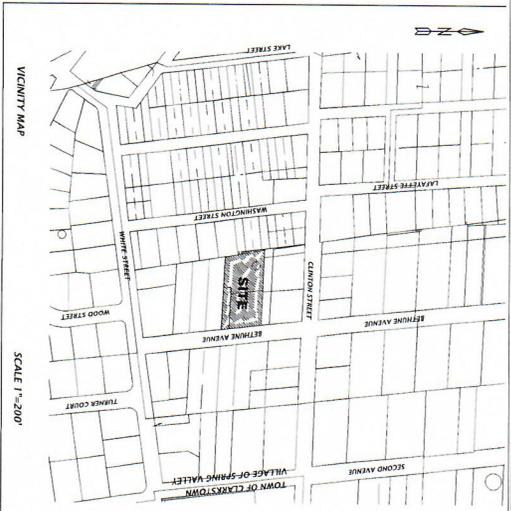
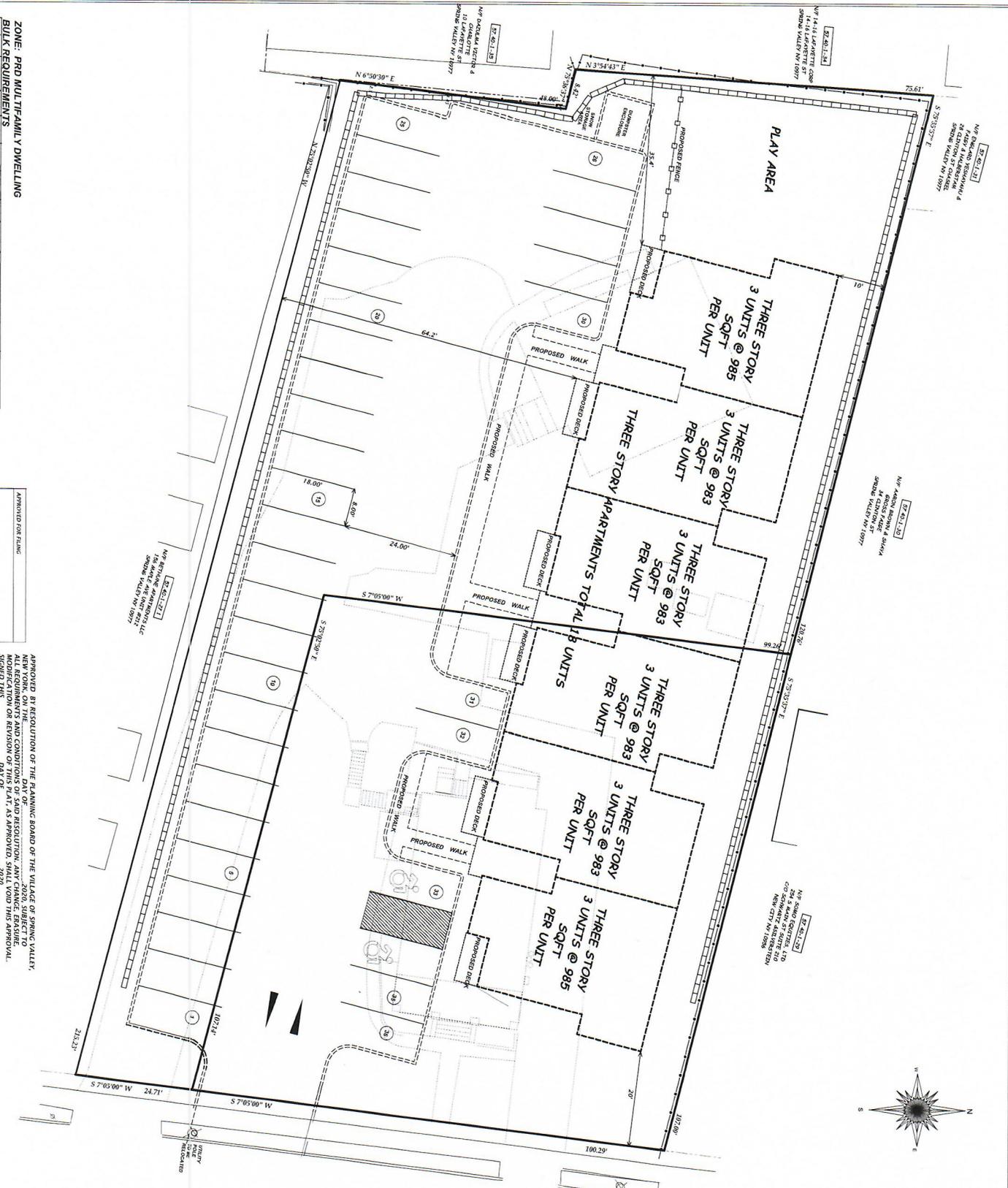
The applicant would require the following additional variances or relief from the requirements of the zoning ordinance.

1. A variance would be required for the size of the parking stalls as 9’x18’ is required, where 8’x18’ is proposed.
2. The density for multifamily dwellings shall be a maximum of 18 dwelling units per acre, where the applicant proposes a density of 29 units per acre.

Stormwater Management

The applicant has provided Drainage Calculations prepared by Celentano Engineering, PLLC dated November 30, 2019.

cc: Applicant



- NOTES:
- TAX MAP NUMBER: MAP 57-40-1.281.28.2
 - APPLICANT: 15 BETHUNE BLVD SPRING VALLEY, NY
 - OWNER: SAME AS APPLICANT
 - TOTAL SQUARE FEET: 0.63 ACRES
 - TOTAL NUMBER OF LOTS: 2
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY ZONING MAP AND ZONING REGULATIONS.
 7. AMBULATION REGARDING PLAT BETWEEN APPROVAL AND DETAILS IS THE GENERAL MUNICIPAL LAW WHEN APPLICABLE.
 - PROPERTY IS NOT LOCATED IN FLOOD PLAIN OVERLAY DISTRICT.
 - ZONING DISTRICT: SIZE
 11. SEWER DISTRICT: R20P1
 12. POLICE DISTRICT: SPRING VALLEY
 13. FIRE DISTRICT: SPRING VALLEY
 14. ELECTRIC: ORANGE AND ROCKLAND
 15. FIRE: SPRING VALLEY



LOT AREA: 27,228.03 SQUARE FEET
 TAX MAP DESIGNATION: 57-40-1.281.28.2
 PROPOSED:
 PLANNING PLAN FOR
 3-15
BETHUNE BOULEVARD

TOWN OF CLARKSTOWN, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 AUGUST 11, 2019
 SCALE: 1" = 10'

ANTHONY R. CELENIA/NO D.E. 30
 THIELS, N.Y. 10988
 845 420 5260 FAX 420 5914
 ANTHONY R. CELENIA, LICENTIA

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF SPRING VALLEY, NEW YORK, ON THE _____ DAY OF _____, 2020, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, RESUBMIT, REVISION OR REVISION OF PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

APPROVED FOR FILING

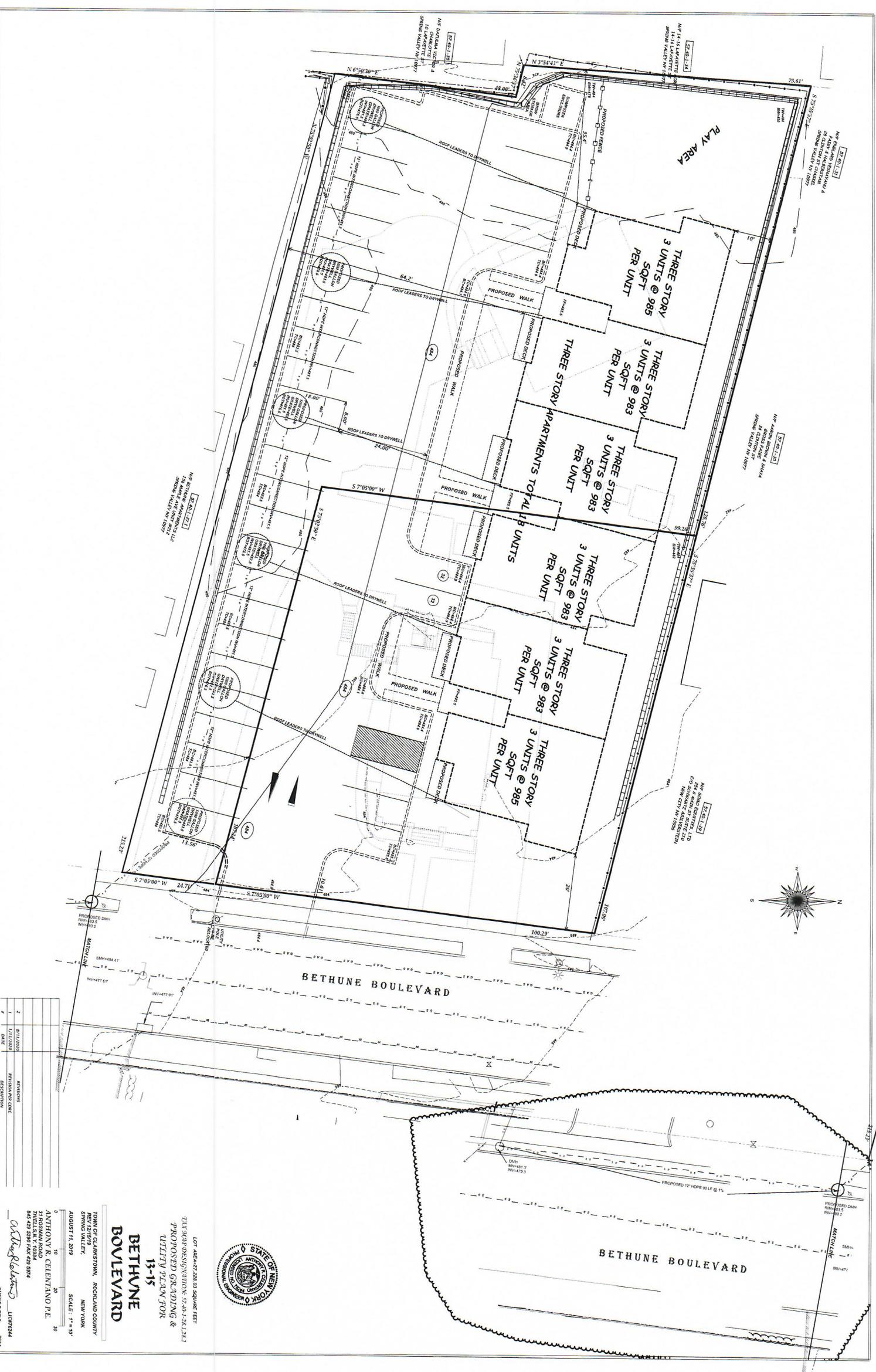
OWNER	DATE

ZONE: PRD MULTIFAMILY DWELLING

BULK REQUIREMENTS

USE	LOT AREA (SQ FT)	MINIMUM LOT WIDTH (FEET)	MINIMUM FRONT YARD SETBACK (FEET)	MINIMUM SIDE YARD SETBACK (FEET)	MINIMUM REAR YARD SETBACK (FEET)	MINIMUM MAXIMUM FLOOR AREA (SQ FT)	MINIMUM MAXIMUM FLOOR AREA PER ACRE	MINIMUM MAXIMUM HEIGHT (FEET)	MINIMUM MAXIMUM NUMBER OF STORIES	MINIMUM MAXIMUM NUMBER OF UNITS PER ACRE	MINIMUM MAXIMUM PARKING PER UNIT
PRD	1700	20'	10'	10'	10'	4000	3.5	40'	3	3	20

PLANNING BOARD REQUIREMENTS PER UNITS PER ACRES

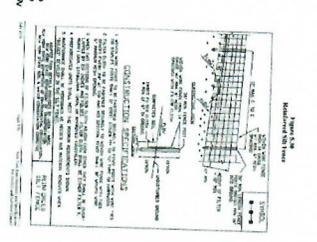
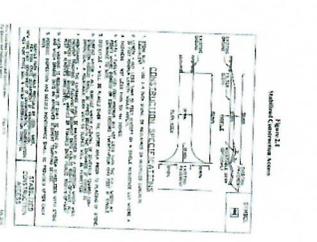


#	DATE	REVISION/PER	DESCRIPTION
1	8/11/2019	AW/MS	AW/MS
2	1/11/2020	REVISION PER CONC	

LOT AREA: 27,228.83 SQUARE FEET
 TAX MAP DESIGNATION: S700.1, 2, 3, 12, 13, 24
 PROPOSED GRADING & UTILITY PLAN FOR
13-15 BETHUNE BOULEVARD
 TOWN OF CLARKSTOWN, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 AUGUST 11, 2019 SCALE: 1" = 40'
 ANTHONY R. CELENTANO P.E.
 1000 STATE ROAD
 SPRING VALLEY, NY 10977
 845 429 5200 FAX 429 5214
 [Signature] LIC# 2244



- EROSION CONTROL & SEDIMENT NOTES**
1. A TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED TO DISTURBED AREAS THAT ARE TO BE EXCAVATED OR GRADDED WITHIN 48 HOURS OF THE START OF CONSTRUCTION. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 2. AREAS SHALL BE SEDED DOWN ON ALL EXPOSED SOILS.
 3. IN GENERAL, THESE MEASURES MUST BE PROactively INSTALLED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING.
 4. AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEVEN (7) DAYS AFTER EACH RAIN EVENT.
 5. THE SEDIMENT BARRIERS SHALL BE PROTECTED WITH A 12" HIGH CURB OF CONCRETE OR PAVED WITH 4" ASPHALT.
 6. FOR EROSION CONTROL, THE FOLLOWING SHALL BE INSTALLED:
 7. THE SLOPE PROTECTION SHALL BE MAINTAINED AT ALL TIMES.
 8. ANY CURBS, CONSTRUCTION MATERIALS SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN UNDISTURBED SURFACE.
 9. CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THESE AREAS WITHIN THE DISTURBED AREAS. THE AREA COMPACTED BY THE EQUIPMENT SHALL BE REPAIRED TO ORIGINAL CONDITION AND SEEDING OF 1" AND 1/2" OF TOP SOIL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 10. CONSTRUCTION AND PROTECTED AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND AFTER CONSTRUCTION.
 11. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.



STANDARD EROSION CONTROL NOTES

1. THE EROSION CONTROL SYSTEM SHALL BE UTILIZED BY THE DEVELOPER TO MINIMIZE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:
2. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS WHERE EROSION IS LIKELY TO OCCUR. THESE AREAS SHALL BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERM, SAND BAGS, OR OTHER MEASURES. MATERIALS DIVISION SWEEPERS SHALL BE OPERATED TO MAINTAIN THESE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS THROUGHOUT CONSTRUCTION.
3. ALL DISTURBED AREAS SHALL BE PROTECTED WITHIN 48 HOURS OF THE START OF CONSTRUCTION. THESE AREAS SHALL BE SEDED DOWN WITH TOPSOIL AT A RATE OF 100 LBS. OF TOPSOIL PER 1,000 SQUARE FEET OF DISTURBED AREA. THE TOPSOIL SHALL BE INSTALLED BY THE CONTRACTOR.
4. SILT THAT LEAVES THE SITE IN SHITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AGENCIES.
5. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.



Edge Manufacturing 18102UL Somerset Cahn Basin
Part - Sediment Retention X, Adjustable 25" - 42"

INLET PROTECTION ALL EXISTING BASINS AND PROPOSED BASINS BETHUNE BOULEVARD

LOT 46B-47-238 83 SQUARE FEET
THE 343-DISTRICTION 57-40-1-2X L&K-2
PROPOSED EROSION CONTROL 97.2XN FOR 13-15 BETHUNE BOULEVARD

LOT 46B-47-238 83 SQUARE FEET
THE 343-DISTRICTION 57-40-1-2X L&K-2
PROPOSED EROSION CONTROL 97.2XN FOR 13-15 BETHUNE BOULEVARD



TOWN OF CLARKESTOWN, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
AUGUST 11, 2019 SCALE: 1" = 10'

ANTHONY R. CHENYANO P.E. 30
THIELMAN, T. 10944
645 439 2300 FAX 426 5374

NO.	DATE	REVISIONS	DESCRIPTION
1	01/11/2020		
2	01/11/2020		

DATE

REVISIONS

DESCRIPTION

NO.

DATE

REVISIONS

DESCRIPTION

1. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED TO PREVENT LIGHT POLLUTION FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.

2. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK. ANY PLANT REMAINING IN THERETRY AS LONG AS THE PARKING LOT SHALL BE MAINTAINED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.

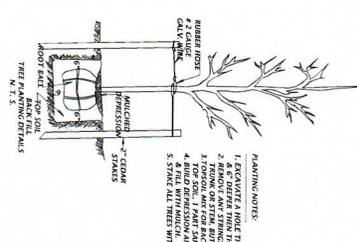
NOTES:

1. ALL EXISTING SOIL FROM PLANTING PITS SHALL BE REMOVED AND PITS SHALL BE BACKFILLED WITH A MIXTURE OF ONE PART PEAT MOSS, ONE PART MANURE TO FOUR PARTS TOPSOIL.
2. ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK. ANY PLANT REMAINING IN THERETRY AS LONG AS THE PARKING LOT SHALL BE MAINTAINED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL BE SUPPLIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN SYRACUSE FOR NURSERY STOCK, CURRENT EDITION.
4. ALL PLANT BEDS SHALL CONTAIN 3" MINIMUM SHREDED BARK MULCH ON LANDSCAPE FILTER FABRIC. HOLES FOR PLANTS SHALL BE 1/2" DEEPER THAN THE BALL AND MINIMUM 6" DEEPER THAN THE DEPTH OF THE BALL.
5. THE VILLAGE SHALL BE NOTIFIED 48 HOURS PRIOR TO PLANTING FOR AN INSPECTION OF PLANT MATERIALS.
6. ALL AREAS OUTSIDE MULCH BEDS AND SAUCERS SHALL BE SEEDED UNLESS OTHERWISE NOTED.
7. TREES SHOWN TO REMAIN SHALL BE PROTECTED WITH CONSTRUCTION FENCING AT THE DUMP LINE. IF DURING CONSTRUCTION, IT IS DETERMINED THAT A TREE PROPOSED TO REMAIN NEEDS TO BE REMOVED, THE APPLICANT SHALL CONTACT THE BUILDING INSPECTOR OR THE VILLAGE PLANNER TO OBTAIN APPROVAL FOR REPLACEMENT WITH A SIMILAR SIZE AND TYPE OF TREE WILL BE SELECTED FOR ITS REPLACEMENT.
8. LAWN AREAS PREPARATION PER 1000 SF: (SHOW SPECIFICATIONS)
 - 90 LBS HAY MULCH
 - 15 LBS 5-10-10 FERTILIZER, 50% SLOW RELEASE.
 - 70 LBS GRANULATED LIMESTONE.

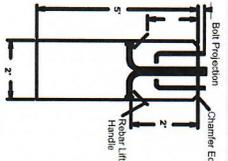
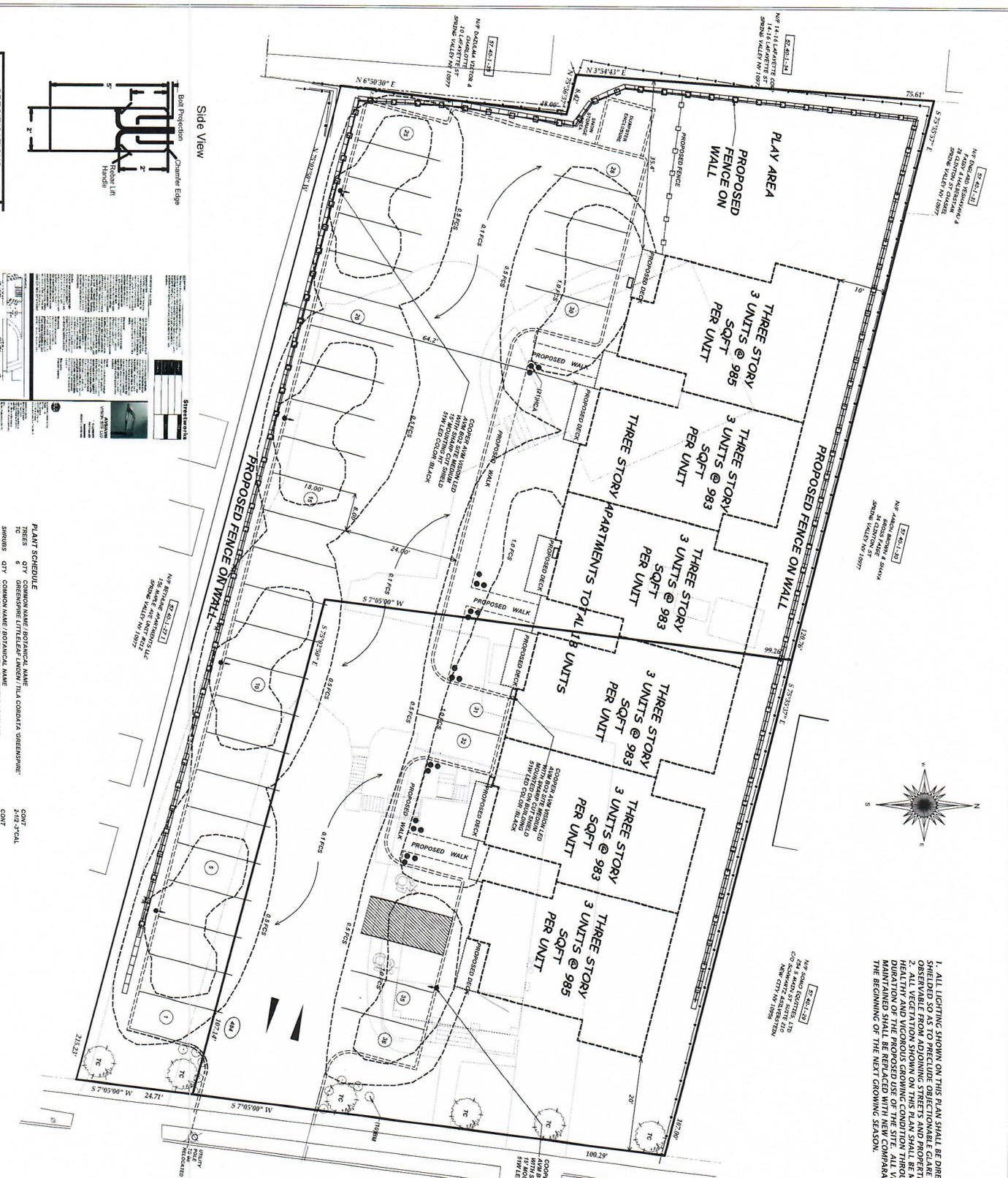
SEED MIXTURE: 30% tall fescue
30% red fescue
20% blue grass
20% ryegrass

PLANTING NOTES:

1. EXCAVATE HOLE THAT FITS 1 1/2" HOLES
2. REMOVE ANY REMNANT TREE MATERIAL
3. REMOVE MULCH FROM EXCAVATION TO 1/2" FROM HOLE
4. FILL EXCAVATION AROUND THE HOLE WITH 1/2" COARSE SAND
5. STAKE ALL TREES WITH 2" CEDAR STAKES



BETHUNE BOULEVARD



SPECIFICATIONS

Concrete Min. Strength 4,000 psi at 28 days
Air Entrainment, 5%

PLANT SCHEDULE	QTY	COMMON NAME / BOTANICAL NAME	CONT
TREES	6	GREENSPINE LITTLELEAF LINDBER / TILIA CORDATA GREENSPINE	2-1/2 37 GAL
SHRUBS	21	ROUND LEAFED HYDRANGEA / HYDRANGEA ROUNDFOLIATA	5 GAL
MUL	10	WINTER GREEN BROADWOOD / BIRDIS MICROPHYLLA JAPONICA WINTER GREEN	5 GAL
			5 GAL

PLANT SCHEDULE	QTY	COMMON NAME / BOTANICAL NAME	CONT
TREES	6	GREENSPINE LITTLELEAF LINDBER / TILIA CORDATA GREENSPINE	2-1/2 37 GAL
SHRUBS	21	ROUND LEAFED HYDRANGEA / HYDRANGEA ROUNDFOLIATA	5 GAL
MUL	10	WINTER GREEN BROADWOOD / BIRDIS MICROPHYLLA JAPONICA WINTER GREEN	5 GAL
			5 GAL

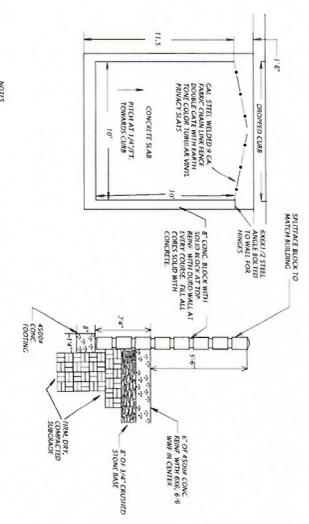
NO.	DATE	REVISIONS	REVISION PER CONC.	DESCRIPTION
1	9/11/2020			
2	1/15/2022			

LOT AREA 27,288 SQ SQUARE FEET
 7743 N 43RD DESIGNATION: S740-128-128.2
 PROPOSED L. LANDSCAPE
 & LIGHTING PLAN FOR
 13-15
BETHUNE BOULEVARD

TOWN OF GARFIELD, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 AUGUST 11, 2019 SCALE: 1" = 10'

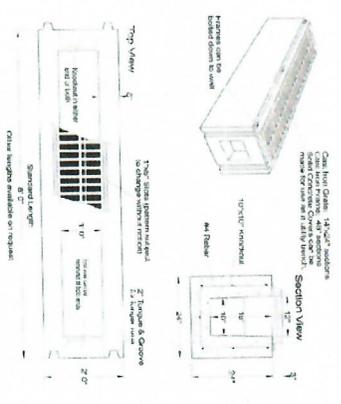
ANTHONY R. CELENZANO P.E.
 7743 N 43RD
 PHILEAS S. 17004
 848 429 5300 FAX 429 5304





CARBAGE DUMPSTER DETAIL
N.T.S.

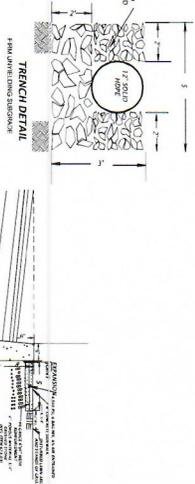
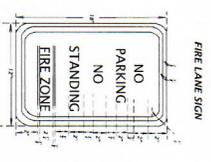
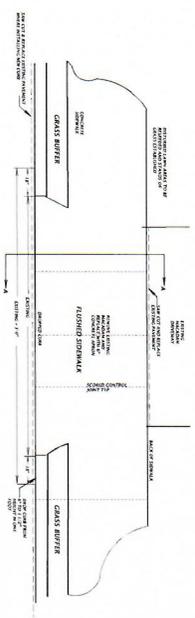
NOTES:
 1. ALL LATER MATERIAL SHALL BE DIMENSIONED TO MATCH EXISTING.
 2. SEE PLAN FOR POSITION TO MATCH EXISTING.
 3. SEE SECTION FOR FINISHES TO MATCH EXISTING.
 4. SEE SECTION FOR FINISHES TO MATCH EXISTING.



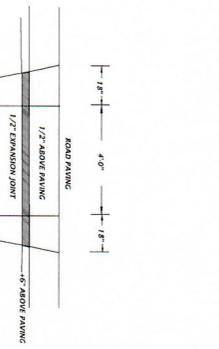
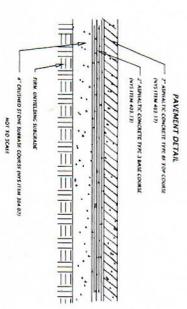
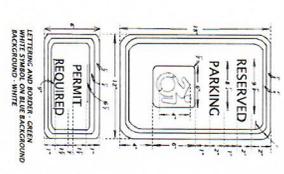
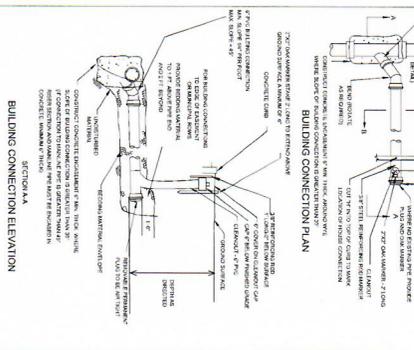
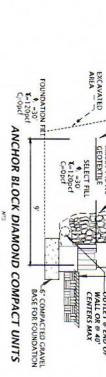
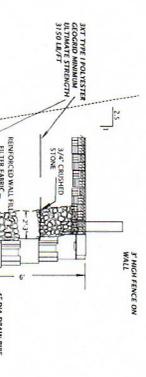
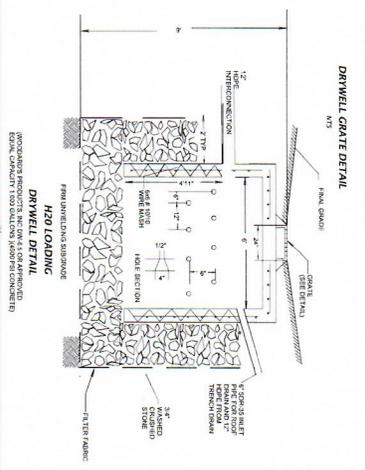
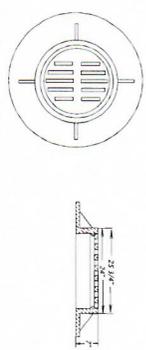
SPECIFICATIONS

Concrete for Slabs: 4000 PSI at 28 Days
 Air Entrainment: 5%
 Modulus of Elasticity: 4,000,000 PSI
 Compressive Strength: 100% ASTM C39
 Unit Weight: 150 PCF

PRECAST TRENCH DRAIN
HEAVY DUTY MODEL 1510
 Woodard & Lothrop Products, Inc.
 4515 South Road, Suite 100, N.Y. 10015
 (908) 291-2000
 Form: 31 1231.1A2



PAINT STRIPES WITH BRUSH-TYPE LETTERING TO MATCH EXISTING



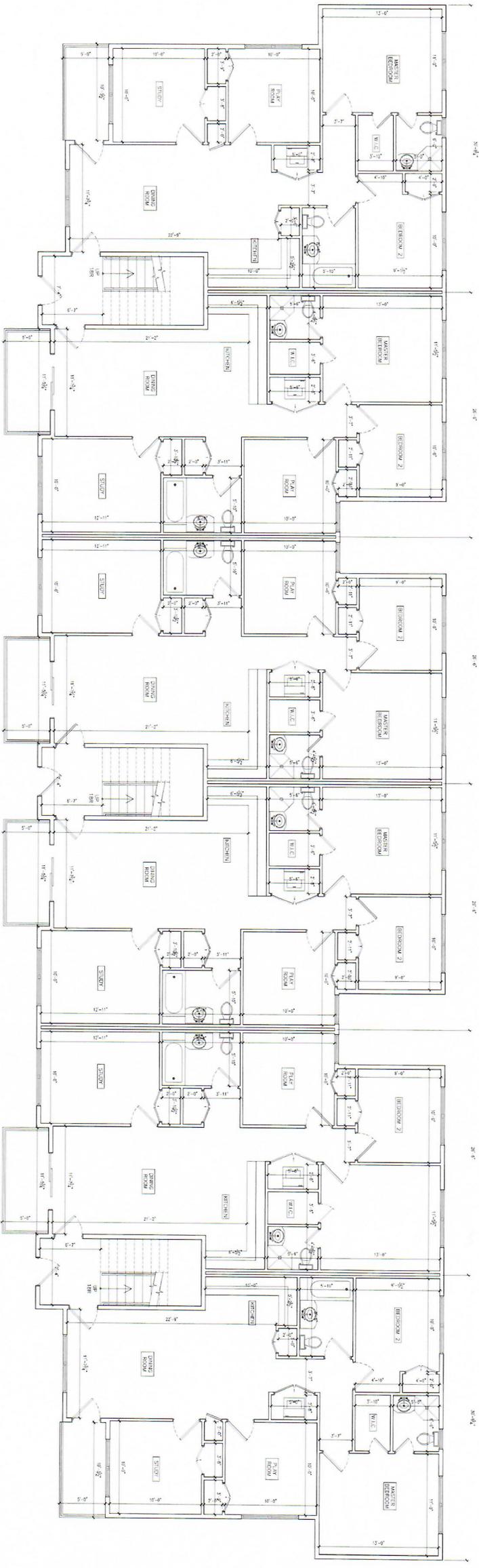
7231 54th Avenue, Garden City, N.Y. 11530
 DETAIL SHEET
 FOR
13-15 BETHUNE BLVD
 TOWN OF CLARKESTOWN, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 AUGUST 8, 2028

ANTHONY R. CLEMENTANO P.E.
 7231 54th Avenue
 GARDEN CITY, N.Y. 11530
 TEL: 516 466 7084
 FAX: 516 466 7084
 845 428 5380 FAX 419 5874
 Lic# 12077

PROPOSED MULTI FAMILY RESIDENCE FOR:
13-15 BETHUNE BLVD
 VILLAGE OF SPRING VALLEY
 ROCKLAND COUNTY, NEW YORK

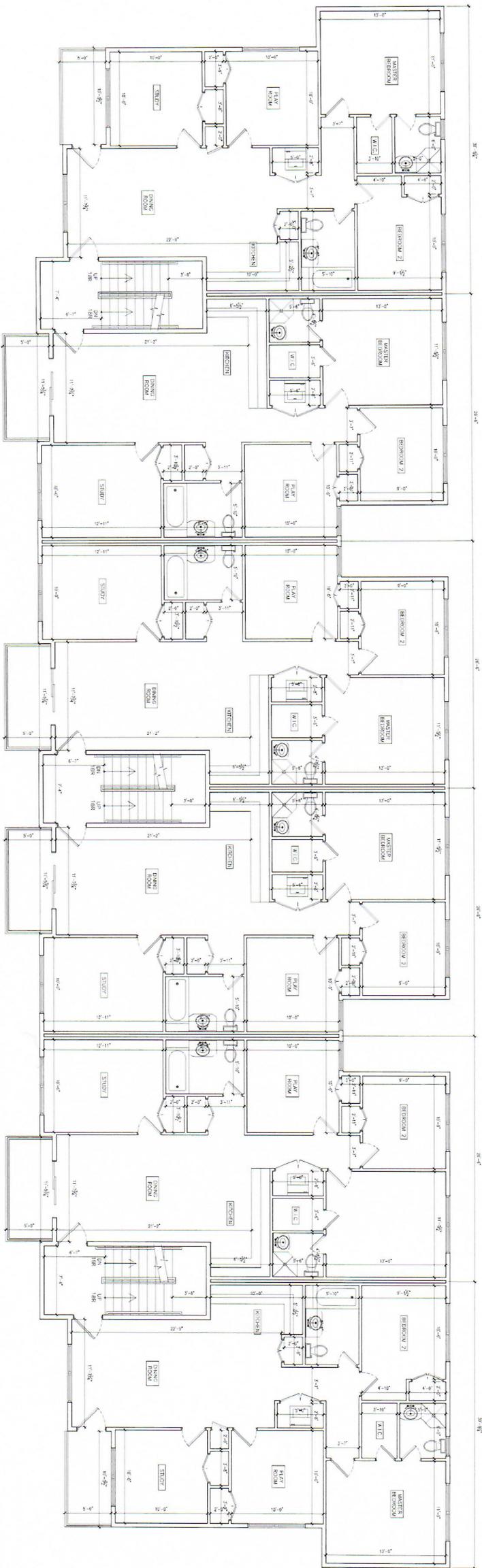
Project No. 13-15
 Drawing No. 103
 Revision 01
 Date 11.17.2012

A-103



1 **FIRST FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

A-103

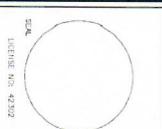


1 SECOND FLOOR PLAN
 A-104 SCALE 1/8" = 1'-0"

A-104

PROPOSED MULTI FAMILY RESIDENCE FOR:
13-15 BETHUNE BLVD
 VILLAGE OF SPRING VALLEY
 ROCKLAND COUNTY, NEW YORK

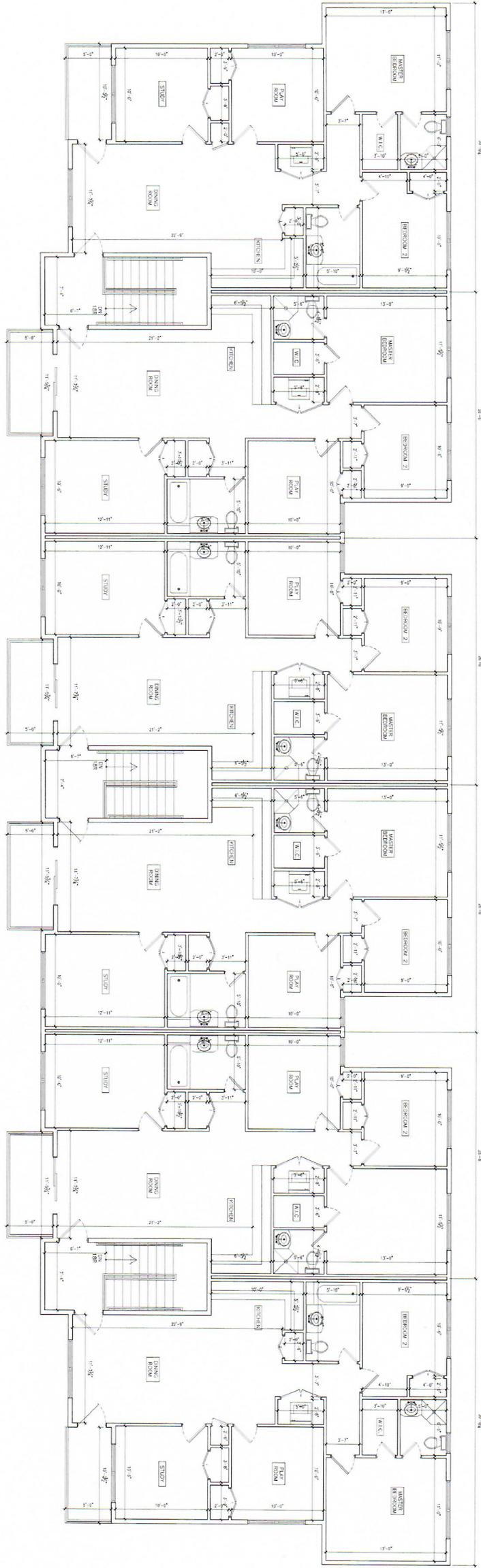
Project No. 13
 Drawn By: JH
 Reviewed By: JH
 Date: 11/11/2013



DATE: 11/11/2013



4515 AVENUE 140, SUITE 100
 SPRING VALLEY, NY 10977
 TEL: 845.343.1111
 WWW.HARTMANDESIGN.COM



1 THIRD FLOOR PLAN
A-106 SCALE 1/8" = 1'-0"

A-105

PROPOSED MULTI FAMILY RESIDENCE FOR:
13-15 BETHUNE BLVD
 VILLAGE OF SPRING VALLEY
 ROCKLAND COUNTY, NEW YORK



H **Herman Design**
 4500 WESTFIELD AVENUE
 SUITE 200
 WESTFIELD, NEW YORK 12145
 TEL: 518.839.4200
 FAX: 518.839.4201
 WWW.HERMANSDESIGN.COM

Project No. 13-15
 Owner: Bk. U.
 Designer: Bk. U.
 Date: 4.1.2022

MEMORANDUM

TO: Village of Spring Valley Planning Board
FROM: Michael D. Kauker, PP, AICP
Principal
DATE: August 31, 2020
SUBJECT: **14 Rose Avenue**
Review # 4

The following materials were received and reviewed by this office:

1. Site Plan consisting of 6 sheets prepared by Anthony R. Celentano, P.E.
 - a. Sheet 1 of 6: Proposed Planimetric Plan dated June 7, 2017 last revised 8/9/20.
 - b. Sheet 2 of 6: Proposed Grading & Utility Plan dated August 11, 2019 last revised 8/11/20.
 - c. Sheet 3 of 6: Proposed Erosion Control Plan dated August 11, 2019 last revised 8/11/20.
 - d. Sheet 4 of 6: Proposed Landscaping & Lighting Plan dated August 11, 2019 last revised 8/11/20.
 - e. Sheet 5 of 6: Survey dated June 7, 2017.
 - f. Sheet 6 of 6: Detail sheet dated August 8, 2020.
2. Building Plans consisting of 5 sheets prepared by Hy Garfinkel, Architect:
 - a. Sheet A-1 dated 11/19/18.
 - b. Sheet A-2 dated 11/19/18.
 - c. Sheet A-3 dated 11/19/18.
 - d. Sheet A-4 dated 11/19/18.
 - e. Sheet A-5 dated 11/19/18.
 - f. Sheet A-6 dated 11/19/18.
3. Application Review Form.
4. Narrative prepared by Celentano Engineering, PLLC dated August 5, 2017.
5. SEQRA Short Environmental Assessment Form dated 8/5/17.
6. Drainage Calculations prepared by A.R. Celentano Land Surveying, PLLC dated August 5, 2017.
7. SEQRA Part 3 prepared by Celentano Engineering, PLLC dated September 28, 2018.

The following comments are submitted regarding this application for the Planning Boards consideration:

Introduction

The applicant has submitted a site plan application proposing the development of a three-story building consisting of 9 residential apartment units. The subject property is an interior lot

located on the east side of Rose Avenue just south of Ewing Avenue. The subject property has a lot area of 15,000 square feet and is located within the PRD Overlay District. The proposed development will require site plan approval from the Planning Board, a special permit from the Village Board and variances from the ZBA.

Application Status

The applicant is on for a public hearing before the Planning Board and it is the applicant's fifth appearance before the Planning Board.

State Environmental Quality Review Act (SEQRA)

Pursuant to SEQRA regulations this action is identified as an unlisted action. The Planning Board has taken the following actions related to the SEQRA review:

- Declaration of intent to be Lead Agency: July 17, 2018.
- Declaration of Lead Agency: August 7, 2018.
- Adoption of Part 2: September 4, 2018.
- Adoption of Negative Declaration: October 4, 2018.

Board Action

The Planning Board can vote on the application if they so desire.

General Comments

1. The proposed grading and existing conditions should only be shown on site plan sheets that relate to those elements. For example, they do not need to be provided on the planimetric plan or landscape and lighting plan among others.
2. A proposed wall with a fence located on top has been added to the plan. The proposed wall will be located along the side and rear yards. The detail depicts a 6-foot wall with a 3-foot fence. Details on the fence shall be provided. The applicant should provide testimony regarding the need and purpose of the wall and how it affects the proposed grading of the property. The Planning Board should consider any potential impacts that the wall and change in grade may have on the neighboring properties.
3. Additional landscaping should be provided in the front yard between the building and the street. I would recommend a berm with evergreen trees.
4. I would recommend a more residential type lighting fixture be provided.
5. The applicant has moved the location of the proposed dumpster from the rear of the building to the front yard. We recommend that the dumpster enclosure be relocated back to its original location to the rear of the building.
6. I would recommend enclosing the play area with a fence for the safety of the children.
7. The applicant should confirm the FAR as there are no calculations provided on the Architectural Plans.

Property Description

The subject property is an interior lot located on the east side of Rose Avenue just south of Ewing Avenue and has a lot area of 15,000 square feet. There is an existing 1 ½ - story, single-family residence located on the property.

The subject property is surrounded by a mix of residential uses.

The aerial photograph below shows the subject property and its relationship to the surrounding neighborhood.

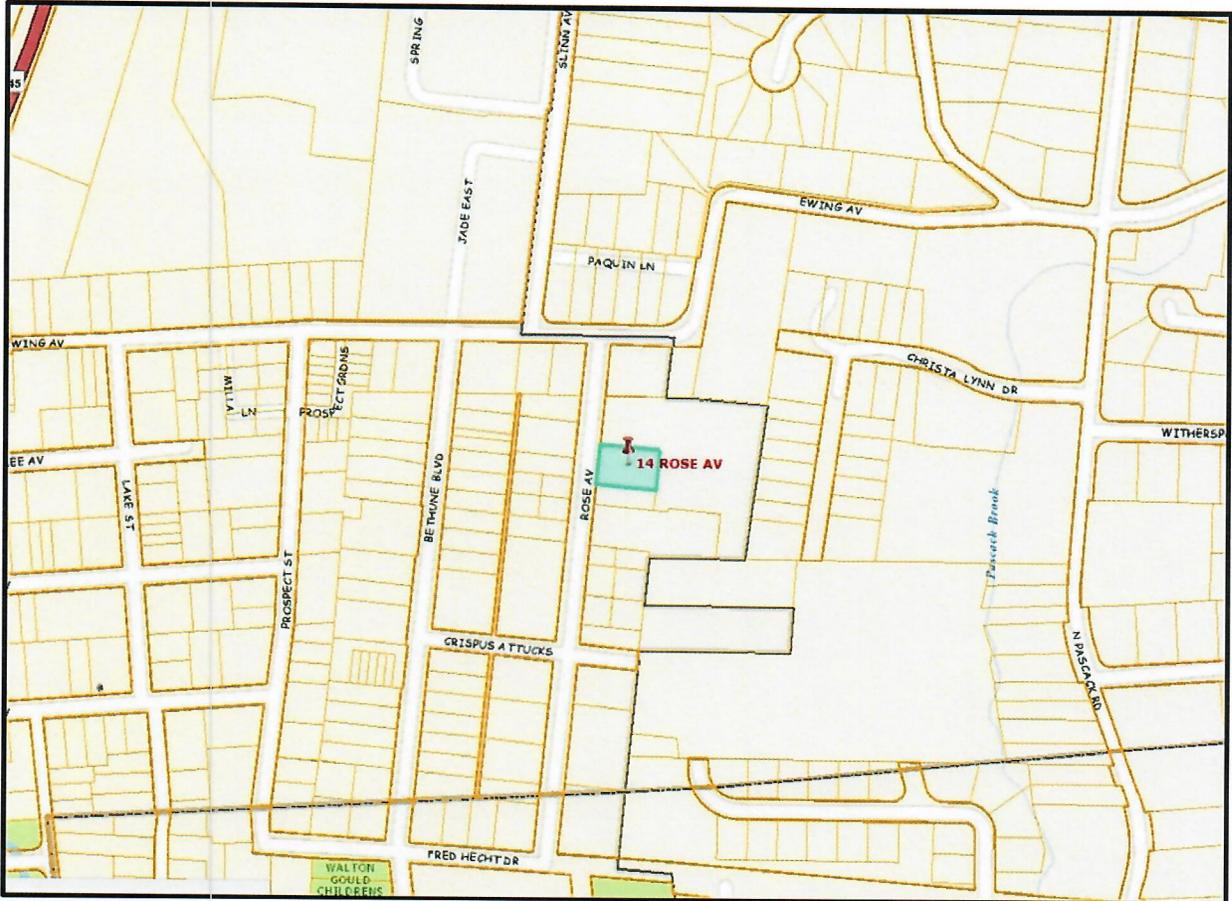


Aerial Map

Source: Google Earth



The following map shows the lot that is the subject of this application in relation to the other lots in the area.



Tax Map

Source: Rockland County GIS



Proposed Development

The applicant's proposal consists of the demolition of the existing dwelling and construction of a three-story apartment building with 9 units. Access is provided from a two-way ingress and egress driveway from Rose Avenue and there is a total of 19 parking spaces proposed inclusive of 1 handicap space. The dimensions for the drive aisle are 24 feet and the parking stall sizes are 9 feet by 18 feet. The applicant has moved the location of the proposed dumpster from the rear of the building to the front yard. We recommend that the dumpster enclosure be relocated back to its original location to the rear of the building. The applicant has moved the location of the proposed dumpster from the rear of the building to the front yard. We recommend that the dumpster enclosure be relocated back to its original location to the rear of the building. His

recommendation has not been addressed. There is a play area located in the rear yard. I would recommend enclosing the play area with a fence for the safety of the children. There are six (6) 1,000-gallon drywells proposed, which are located in the rear yard within the parking area.

Zoning Ordinance

- **Permitted Uses** – The subject property is located within the Village’s PRD Planned Residential Development Overlay District. Permitted uses in the PRD District include one-family detached dwellings, churches and other places of worship, convents, uses of the Village of Spring Valley, uses of other governments, public schools, one-family semi attached dwellings and two-family detached dwellings. The proposed multi-family use is permitted by a special permit pursuant to §A-6B(10) in the PRD District from the Village Board.
- **Bulk and Area Requirements** – The following table compares the proposed development to the bulk and area requirements of the zoning ordinance.

Zoning Requirements	Required Two-Family	Proposed
Lot Area	20,000	15,000 (V)
Lot Width	150	100 (V)
Front Yard	30	25 (V)
Side Yard	20	10 (V)
Total Side Yard	40	60
Rear Yard	50	42 (V)
Bldg. Ht. (ft/st.)	35/3	35/3
FAR	0.6	0.6

The applicant requires several variances for this proposed development as identified above.

In addition to the variances identified above the applicant would require the following additional variances or relief from the requirements of the zoning ordinance.

1. **Density** - The permitted density for multi-family uses in the PRD District is 18 units per acre, where the applicant proposes 26 units per acre. Looking at it another way, this 0.34-acre (15,000 square foot) site would permit 6 dwelling units, where 9 units are proposed.

The applicant should provide architectural plans to confirm the building height and FAR.

The following Additional use requirements for special permit uses in the PRD Zone are also applicable to this development.

- 1) A buffer with a minimum dimension of the respective required yard may be required as a condition of approval for any special permit use in Subsection B where such uses may affect the residential character of the neighborhood. Such buffer area may be reduced where local conditions warrant and substitute measures are prescribed for the protection of neighboring properties or where adjacent use is similar to that proposed for special permit approval.
- 2) The density for multifamily dwellings shall be a maximum of 18 dwelling units per acre. No lots consisting of more than one multifamily dwelling building, the maximum density requirements herein set forth shall prevail on a pro rata basis.
- 3) Number of bedrooms.
- 4) Of that portion of any lot which is not covered by either the building or buildings or the parking facilities permitted on such lot, a minimum of 50% thereof shall be maintained in the landscaped area, with the balance thereof containing recreational facilities.

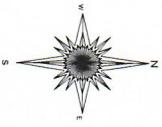
Other additional requirements that must be complied with are as follows:

1. Section 255-31G. Requirements for parking spaces adjacent to lots in any residence district. Wherever a parking area of over five spaces abuts or is within 15 feet of a lot in any residence district, it shall be screened from such residential lot by a substantial wall, fence or thick hedge, approved by the Planning Board.
2. Section 255-35B. Screening. Parking areas with more than four spaces in a residential district shall be screened from all property lines, including any roads bordering the property. All parking areas and loading berths shall be screened from any residential district boundary where visible. Such screening shall not obstruct sight distance. The Planning Board may require landscaping between nonresidential use parking areas to prevent massing of such areas and to protect the character and compatibility of adjacent uses.

Stormwater Management

The location of 6 drywells is shown on the plan. The applicant should provide more detail as described previously in this report.

cc: Applicant

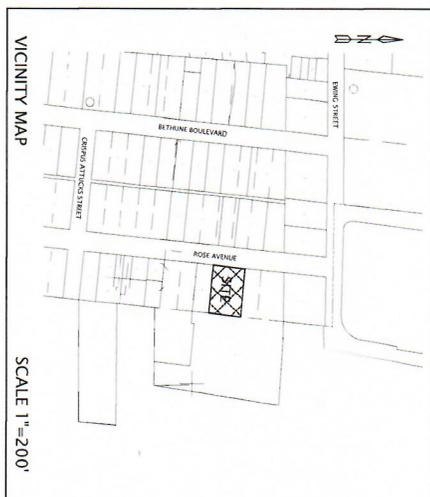
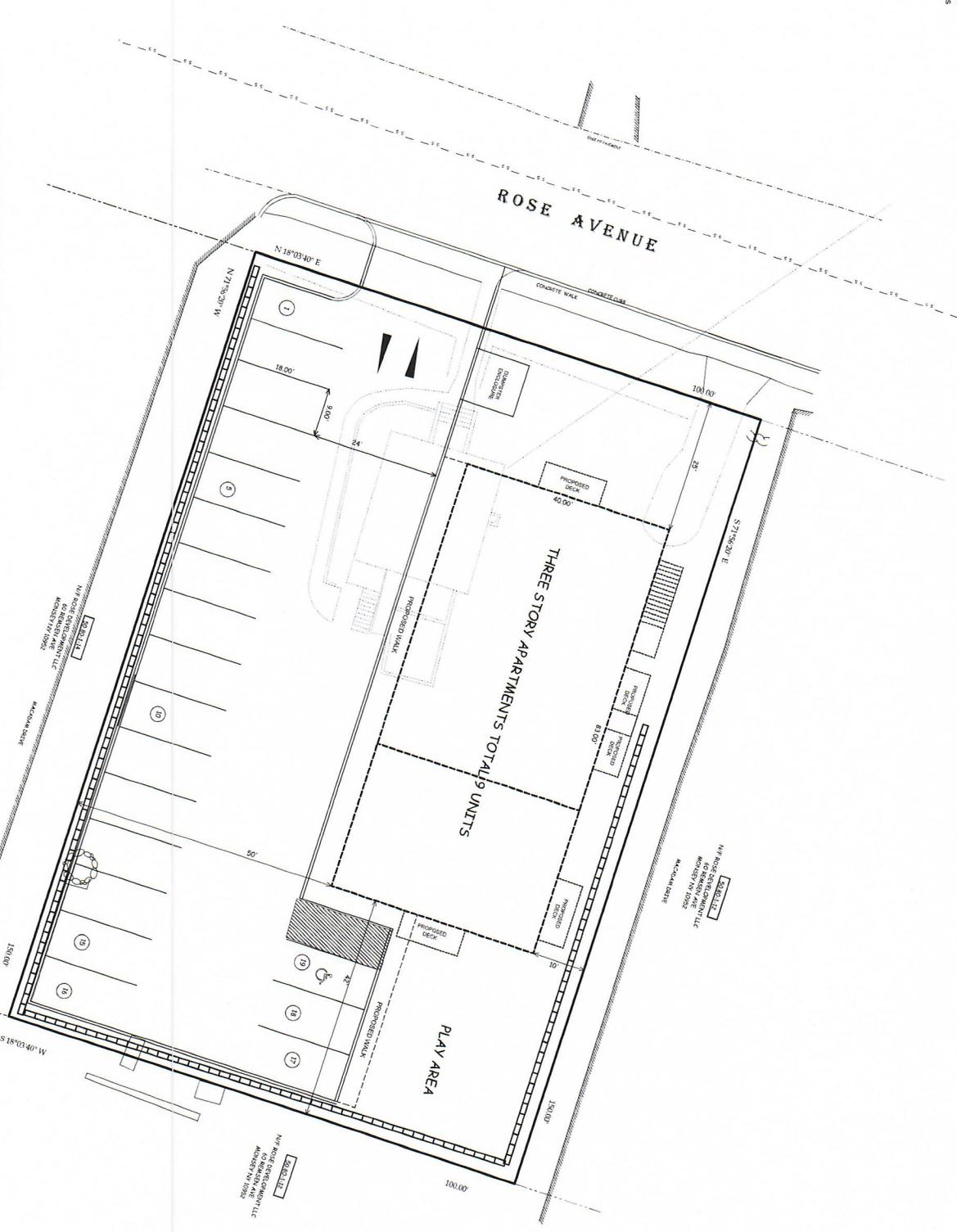


ZONE: PRD MULTIFAMILY DWELLING

BULK REQUIREMENTS

USE GROUP	TOTAL AREA (SQ. FT.)	LOT FRONT (FEET)	MIN. FRONT YIELD (FEET)	MIN. SIDE YIELD (FEET)	MIN. REAR YIELD (FEET)	TOTAL MINIMUM YIELD (FEET)	MINIMUM MANEUVERING YIELD (FEET)	MINIMUM PARKING AREA (SQ. FT.)	MINIMUM PLAY AREA (SQ. FT.)
RES E	15,000 SF	100'	25'	25'	25'	425'	40'	3,375 SQ. FT.	0.6
RES E	30,000 SF	150'	30'	30'	30'	510'	40'	4,500 SQ. FT.	0.8
RES E	45,000 SF	200'	35'	35'	35'	595'	40'	6,075 SQ. FT.	1.0

1) MINIMUM SETBACKS PER UNITS - 14 SPACES
2) VARIANCE COMPLETED



- NOTES:**
1. TAX MAP NUMBER: MAP 50.00 1-13
 2. APPLICANT: SPRING VALLEY, NY
 3. OWNER: SAME AS APPLICANT
 4. TOTAL AREA OF SITE: 150,000 SQ. FEET = 0.34 ACRES
 5. TOTAL NUMBER OF LOTS: 19
 6. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP
 7. INFORMATION REGARDING PLAT REVIEW, APPROVAL, AND DETAILS IS TO BE OBTAINED FROM THE GENERAL MUNICIPAL LAW WHEN APPLICABLE
 8. PROPERTY IS NOT LOCATED IN FLOOD PLAIN OVERLAY DISTRICT

1) DESIGN DISTRICT: GRAND AND BUCKLAND
 2) WATER DISTRICT: 5002
 3) WASTE WATER DISTRICT: 5002
 4) SANITATION DISTRICT: 5002
 5) FIRE DISTRICT: 5002
 6) SCHOOL DISTRICT: EAST RAMAPO

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF SPRING VALLEY, NEW YORK, ON THIS _____ DAY OF _____, 20____. ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, REVISION, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL. SIGNED: _____

APPROVED FOR FILING: _____
 DATE: _____

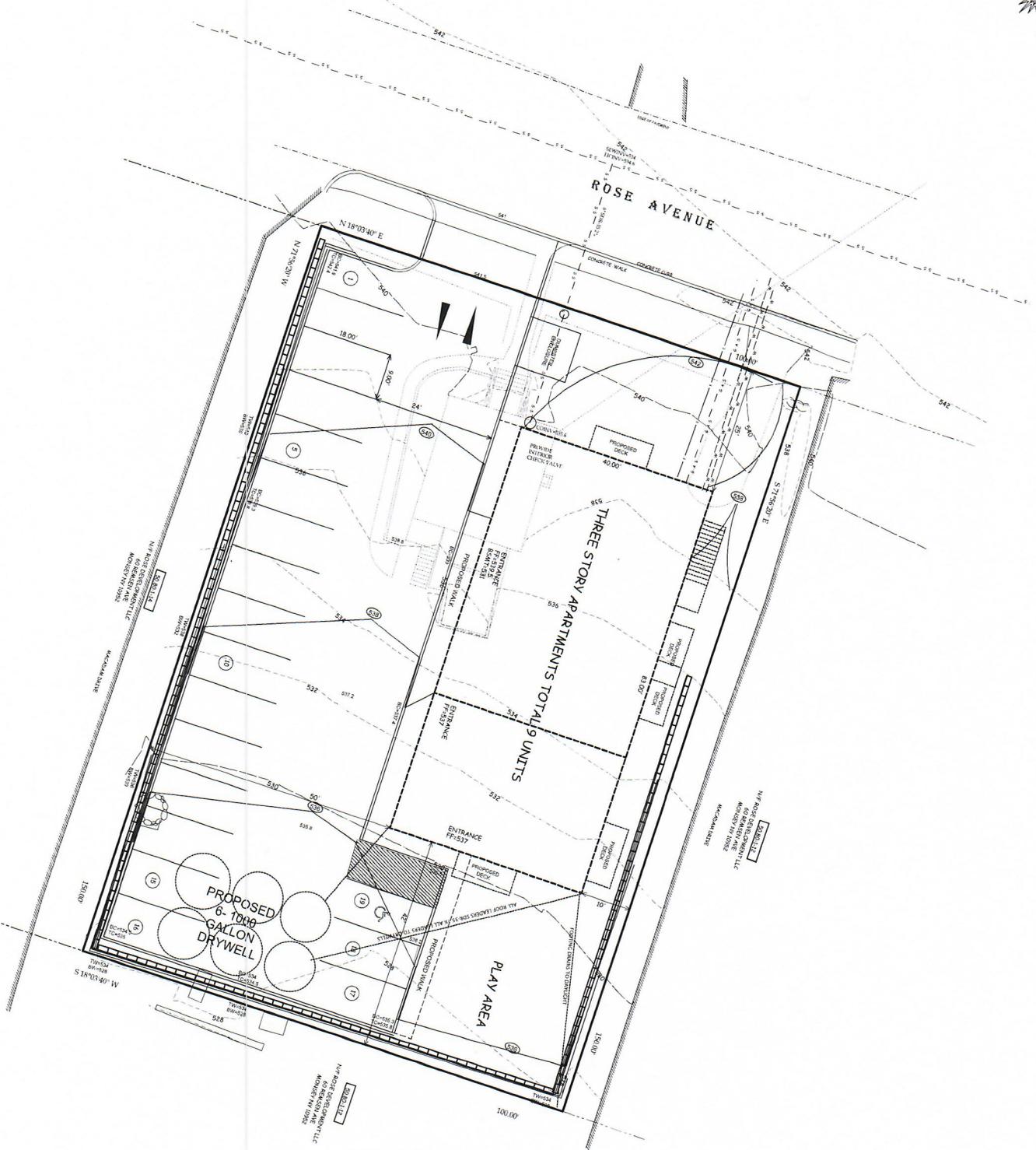
CHAIRMAN: _____
 CLERK: _____



LOT AREA: 150,000 SQUARE FEET
 TAX MAP DESIGNATION: 50.00-1-13
LAYOUT PLAN FOR
14 ROSE AVE

TOWN OF RAMAPO, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 JUNE 21, 2017 SCALE: 1" = 30'
 ANTHONY R. CELENTANO P.E.

462 425 5500 FAX 425 5974
 462 425 5500 FAX 425 5974
 SHEET 1 OF 6 6.590



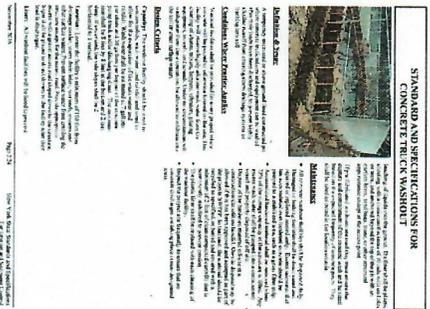
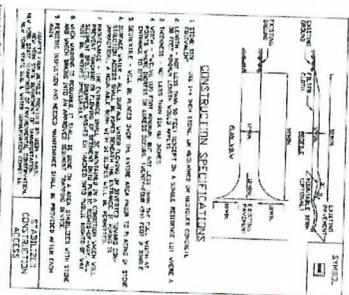
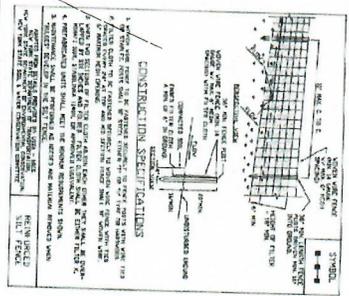
TEST HOLE PERFORMED GROUND WATER
GREATER THAN 15'



14 ROSE AVE

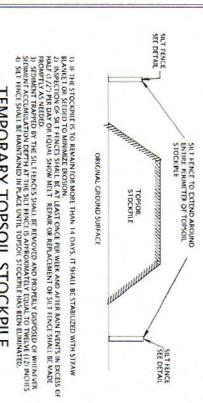
TOWN OF SARATOGA, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
JUNE 07, 2017 SCALE: 1" = 30'

ANTHONY R. CELENTANO P.E.
37 ROSMANY ROAD
THULESSA, N.Y. 12084
845 820 5200 FAX 845 820 5914



STANDARD EROSION CONTROL NOTES

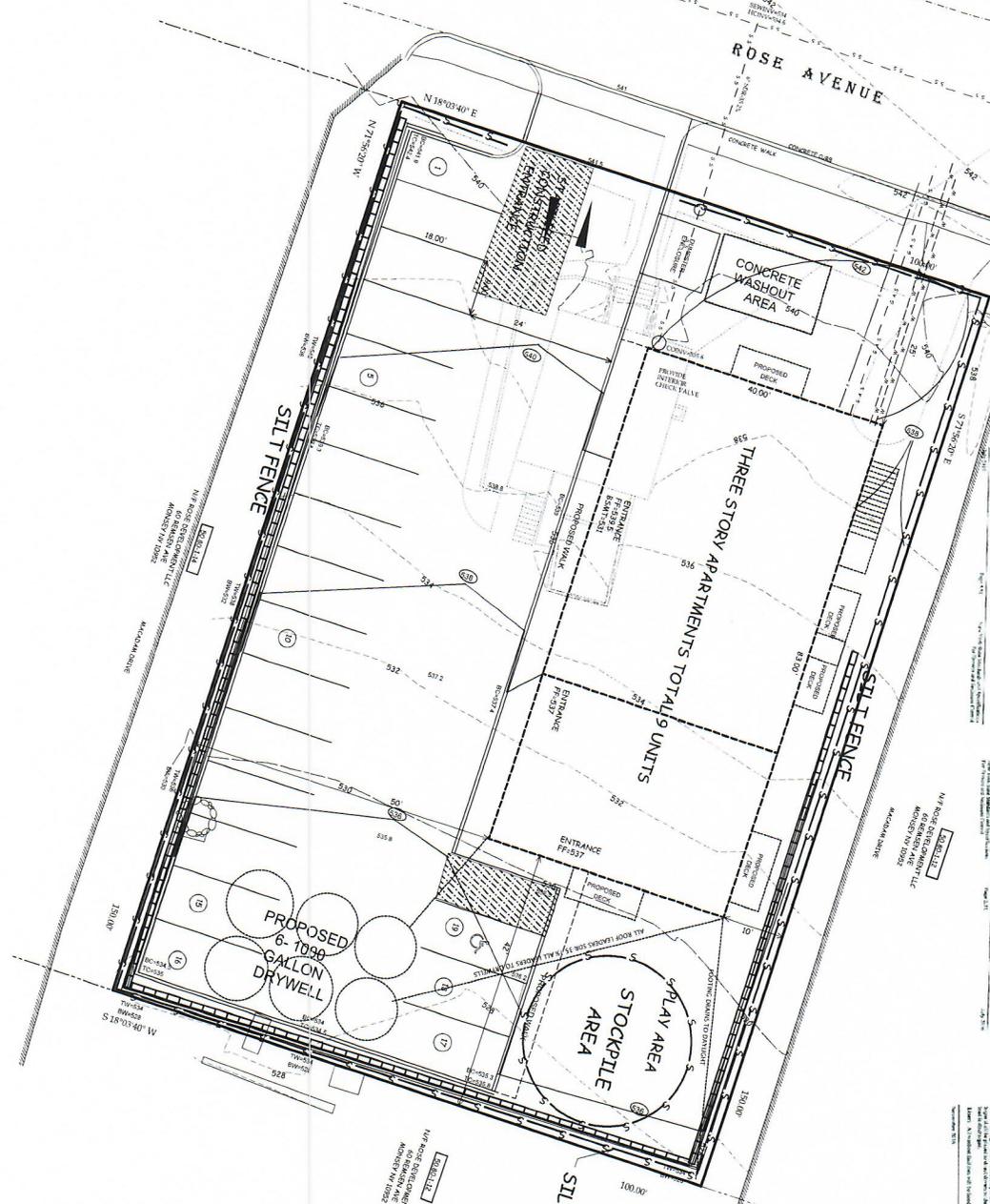
1. ALL LEFT BANKS FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. ALL RIGHT BANKS SHALL BE REVEALED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
2. STABILIZED EROSION CONTROL SHALL BE INSTALLED TO PREVENT EROSION OF EXPOSED SOILS AND TO PROTECT ADJACENT AREAS FROM EROSION DAMAGE AND TO PREVENT EROSION DAMAGE TO ADJACENT AREAS.
3. EROSION CONTROL SHALL BE INSTALLED TO PREVENT EROSION DAMAGE TO ADJACENT AREAS.
4. AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST 50 FEET UPON THE EROSION CONTROL TO DETERMINE IF PROTECTION WITH A FILTER BED IS NEEDED.
5. THE EROSION CONTROL SHALL BE STABILIZED WITH VEGETATION OR GRASS SEEDING.
6. CONSIDER LIMITING LAND DISTURBANCE TO ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION.
7. THE EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
8. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE END OF EACH CONSTRUCTION PHASE AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE EROSION CONTROL.
10. DRAINAGE AND SEDIMENT SHALL BE INSTALLED FROM TO RAINFALL DURING CONSTRUCTION AND A MANUAL EVENT THE CONTRACTOR SHALL INSPECT THE PERIMETER AND CLEAN IF NEEDED.



0.9 M THE STOCKPILE TO MAINTAIN MORE THAN 15 DAYS IT SHALL BE STABILIZED WITH STALK MATS. STOCKPILE SHALL BE 1.5 M HIGH AND SHALL BE MAINTAINED WITH STALK MATS. STOCKPILE SHALL BE MAINTAINED WITH STALK MATS. STOCKPILE SHALL BE MAINTAINED WITH STALK MATS.

TEMPORARY TOPSOIL STOCKPILE

NOT TO SCALE



INLET PROTECTION ALL EXISTING BASINS AND PROPOSED BASINS



Edge Manufacturing TRENZOL Somerset Catch Basin Inlet - Segment Rectangle X L. Available 25' - 42'

NEW 89820

LOT AREA 415,000 SQUARE FEET
 1731 3448' DISTANCE TO TOWN, 30.80-1.13
EROSION CONTROL
 P.2 PLAN FOR
14 ROSE AVE
 TOWN OF SARATOGA, FRODO AND COUNTY
 P.W. 22878
 SPRING VALLEY, NEW YORK
 JUNE 01, 2017 SCALE: 1" = 20'
 ANTHONY R. CILINTANO P.E.
 37 ROSAMUND
 461-429-2200 FAX 461-429-2974



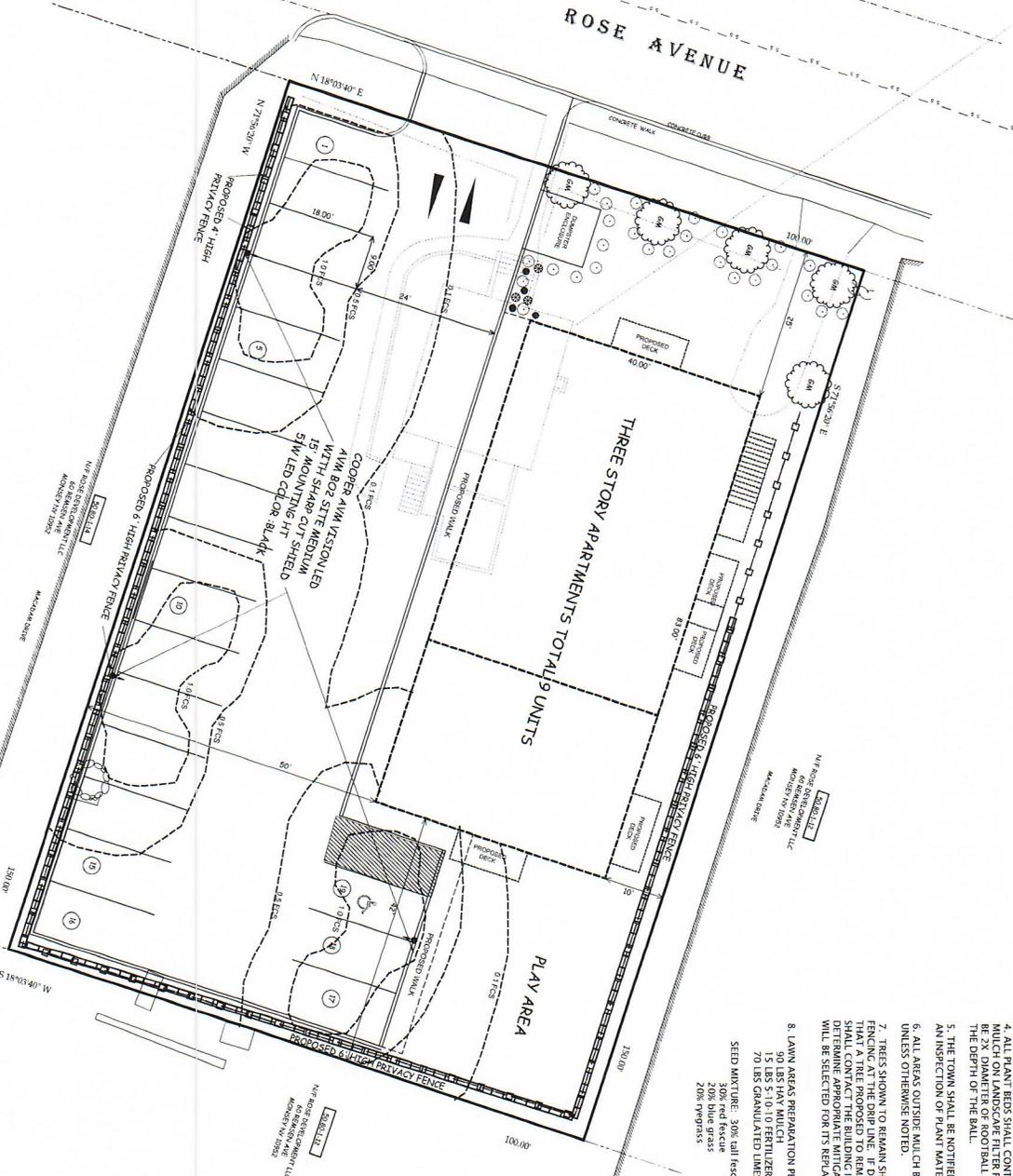


1. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO PLANTING SEASONS.
2. ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROVED LANDSCAPE DESIGN PROFESSIONAL, NOTIFY 48 HOURS BEFORE THE TOWN OF RAMAPO BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.
4. GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
5. ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROVED LANDSCAPE DESIGN PROFESSIONAL, NOTIFY 48 HOURS BEFORE THE TOWN OF RAMAPO BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
6. PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROVED LANDSCAPE DESIGN PROFESSIONAL, NOTIFY 48 HOURS BEFORE THE TOWN OF RAMAPO BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
7. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.

PLANT SCHEDULE

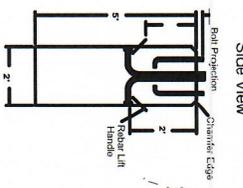
QTY	COMMON NAME / BOTANICAL NAME	PLANTING DATE	CONT.
5	OCTOBER GLOW ARBUTUS / ABER RUBRUM	OCTOBER GLOW	5 GAL
3	WINTER GEM BOXWOOD / BUXUS MICROPHYLLOIDICA	WINTER GEM	5 GAL
27	WINTER GEM BOXWOOD / BUXUS MICROPHYLLOIDICA	WINTER GEM	5 GAL
3	FERTON RED BIRCHES / BETAULUS X ACUTICORNIS	WAL. FORBSTER	2 GAL

ROSE AVENUE



SPECIFICATIONS

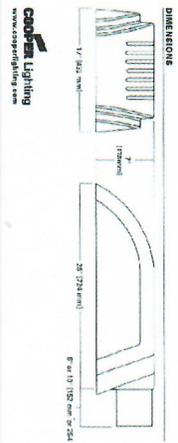
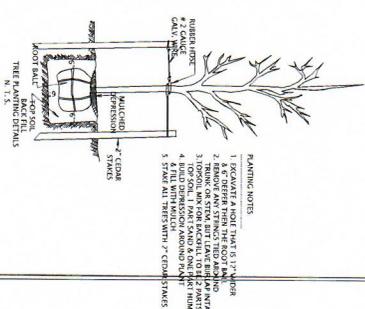
Concrete Mix, Strength:	4,000 psi at 28 day
Rebar:	#4
Air Entrainment:	5%



1. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERLY MAINTAINED IN A HEALTHY AND VICARIOUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.

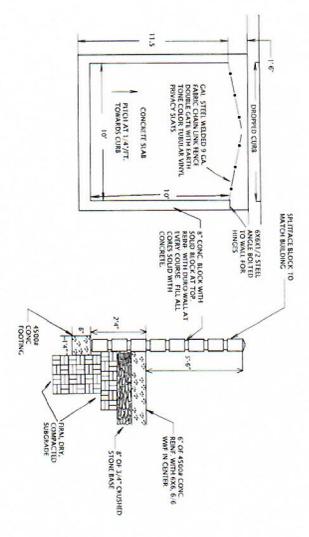
- NOTES:**
1. ALL EXISTING SOIL FROM PLANTING PITS SHALL BE REMOVED AND PITS SHALL BE BACKFILLED WITH A Mixture OF ONE PART PEAT-HUMUS, ONE PART MANURE TO FOUR PARTS TOPSOIL.
 2. ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK. ANY LANDSCAPING REQUIRED AS A BUFFER TO SHIELD THE PARKING LOT SHALL REMAIN IN PERPETUITY AS LONG AS THE PARKING LOT EXISTS.
 3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD FOR NURSERY STOCK, CURRENT EDITION.
 4. ALL PLANT BEDS SHALL CONTAIN 3" MINIMUM SHREDED BARK MULCH ON LANDSCAPE FILTER FABRIC. HOLES FOR PLANTS SHALL BE 2X DIAMETER OF FOOTBALL AND MINIMUM 6" DEEPER THAN THE DEPTH OF THE BALL.
 5. THE TOWN SHALL BE NOTIFIED 48 HOURS PRIOR TO PLANTING FOR AN INSPECTION OF PLANT MATERIALS.
 6. ALL AREAS OUTSIDE MULCH BEDS AND SAUCERS SHALL BE SEEDED UNLESS OTHERWISE NOTED.
 7. TREES SHOWN TO REMAIN SHALL BE PROTECTED WITH CONSTRUCTION FENCE. TREES NOT TO REMAIN SHALL BE REMOVED. THE APPLICANT SHALL CONTACT THE BUILDING INSPECTOR OR THE VILLAGE PLANNER TO DETERMINE APPROPRIATE MITIGATION, A SIMILAR SIZE AND TYPE OF TREE WILL BE SELECTED FOR ITS REPLACEMENT.
 8. LAWN AREAS PREPARATION PER 1000 SF: (SHOW SPECIFICATIONS)
 - 90 LBS NITROGEN
 - 10 LBS PHOSPHORUS
 - 10 LBS GRANULATED LIMESTONE

SEED MIXTURE: 30% tall fescue
 20% blue grass
 20% ryegrass



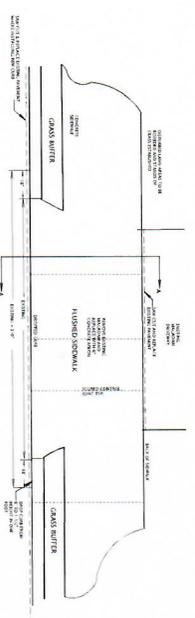
LOT AREA: 15,000 SQUARE FEET
 TOTAL SQUARE FOOTAGE: 50,000 S.F.
LANDSCAPE AND LIGHTING PLAN FOR
14 ROSE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 JUNE 07, 2017 SCALE: 1" = 30'

ANTHONY R. CELESTANO, P.E.
 71 HUNTERS AVENUE
 SPRING VALLEY, NY 10986
 845-428-5200 FAX 428-5974
 www.acelect.com
 SHEET # OF 6 6590

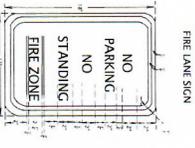


NOTES:
 1. GALV. STEEL WALLS TO MATCH BUILDING.
 2. 2\"/>

GARBAGE DUMPSTER DETAIL
 N.T.S.

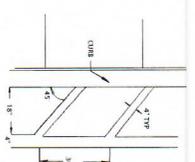


SECTION A-A

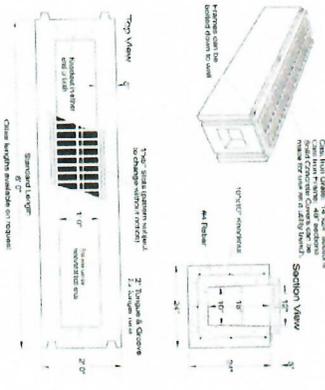


LETTERING AND BORDER: 1/2\"/>

FIRE LANE STRIPING

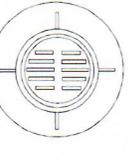


PAV. STRIPES WITH HIGHLIGHT YELLOW EXTERIOR GRADE ROADWAY PAINT

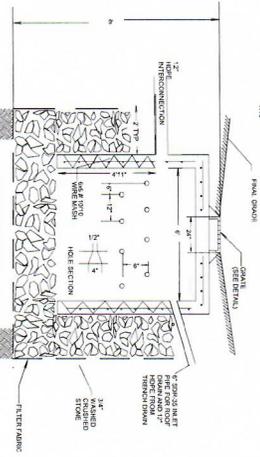


SPECIFICATIONS
 Concrete Top, Strength: 4,000 psi at 28 days
 Reinforcement: #4 Rebar / ASTM A631
 Anchorage: 6\"/>

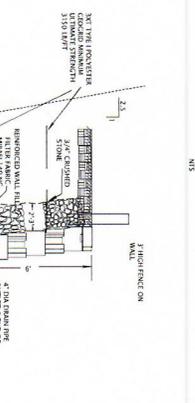
PRECAST TRENCH DRAIN HEAVY DUTY MODEL TD-40
 Woodstock's Concrete Products, Inc.
 1000 S. 10th St. / P.O. Box 1000
 Lead Paving: 480 / ASTM C507
 Page 31 / 2/21/99



DRIVELL GRATE DETAIL
 N.T.S.



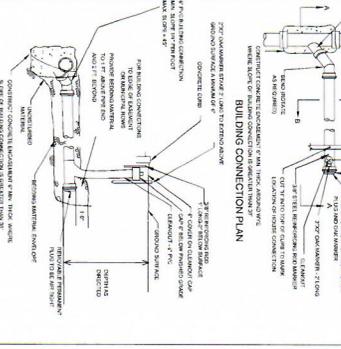
DRIVELL DETAIL



ANCHOR BLOCK DIAMOND COMPACT UNITS

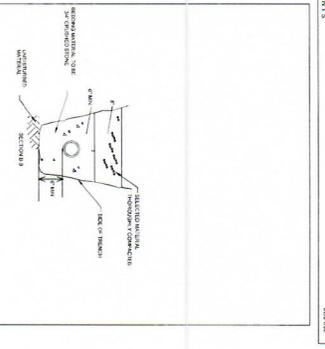


BUILDING CONNECTION PLAN

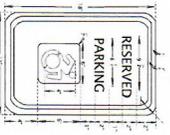
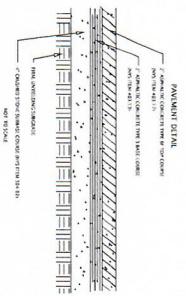


BUILDING CONNECTION ELEVATION

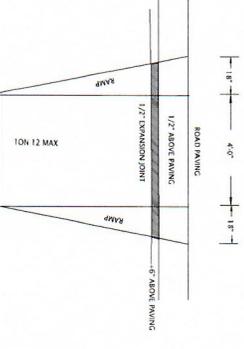
BUILDING CONNECTION DETAIL



BUILDING CONNECTION TRENCH DETAIL



RESERVED PARKING PERMIT



DROP CURB DETAIL



THIS DRAWING DESIGNED BY: 5/24/13
 DETAIL SHEET
14 ROSE AVE
 FOR
 TOWN OF RAMAPO, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 AUGUST 6, 2020

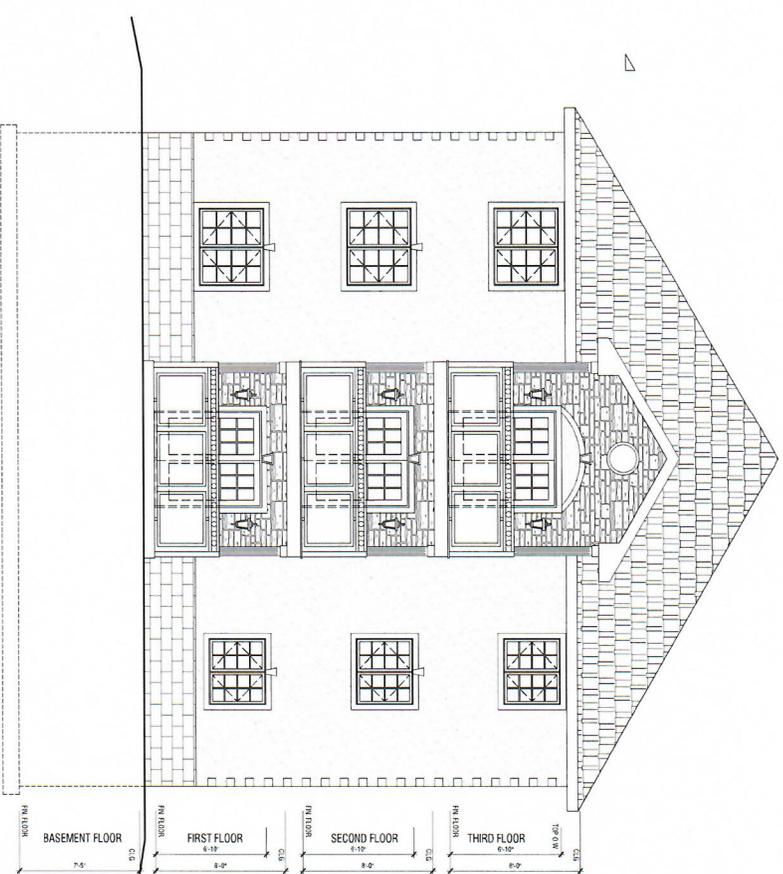
ANTHONY R. CELEDIN, P.E.
 31 ROSAM ROAD
 THIRDS FLOOR
 SPRING VALLEY, NY 10984
 845-352-0700 FAX 845-59374
 Lic#11687

FINISH SCHEDULE					
ROOM	TOOR	BASE	WALL	CEILING	FLOORS
ENTRANCE	WOOD	CONCRETE	CEILING	CEILING	SPICE & STAIN
STAIR	WOOD	CONCRETE	CEILING	CEILING	1-1/2" WOOD
POYER HALL	WOOD	WOOD	WOOD	WOOD	1/2" ON 1/2" WOOD
KITCHEN	WOOD	WOOD	WOOD	WOOD	1/2" ON 1/2" WOOD
PLAY ROOM	WOOD	WOOD	WOOD	WOOD	1/2" ON 1/2" WOOD
DINING ROOM	WOOD	WOOD	WOOD	WOOD	1/2" ON 1/2" WOOD
LAUNDRY ROOM	WOOD	WOOD	WOOD	WOOD	1/2" ON 1/2" WOOD
BED ROOMS	WOOD	WOOD	WOOD	WOOD	1/2" ON 1/2" WOOD
BATH ROOMS	WOOD	WOOD	WOOD	WOOD	1/2" ON 1/2" WOOD

S.P.A.B. - SHEET ROCK, GREEN BOARD
 W.D. WOOD, WOOD MOULDING & COORNAL 3-1/2" STAIN GRADE
 SHELVING TO BE FORMICA SHEETS 1/8" CUT DOWN W/CAP @ END
 INTERIOR DOORS TO BE STAIN GRADE

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)	
USE	LIVE LOAD
RESIDENTIAL BALCONIES	40
DECKS	60
GARAGE ON GRADE	50
ATTICS WITHOUT STORAGE	10
ROOMS OTHER THAN SLEEPING	40
SLEEPING ROOMS	40
CLIMBERALS & HANDRAILS	200

BUILDING STRUCTURES AND PARTS OF SHOWN ON THESE PLANS HAVE BEEN DESIGNED TO SUPPORT LIVE LOADS SHOWN AND SEISMIC LOADS AS PRESCRIBED BY THE CODE OF NEW YORK STATE



FRONT ELEVATION
 SCALE 1/4" = 1'-0"

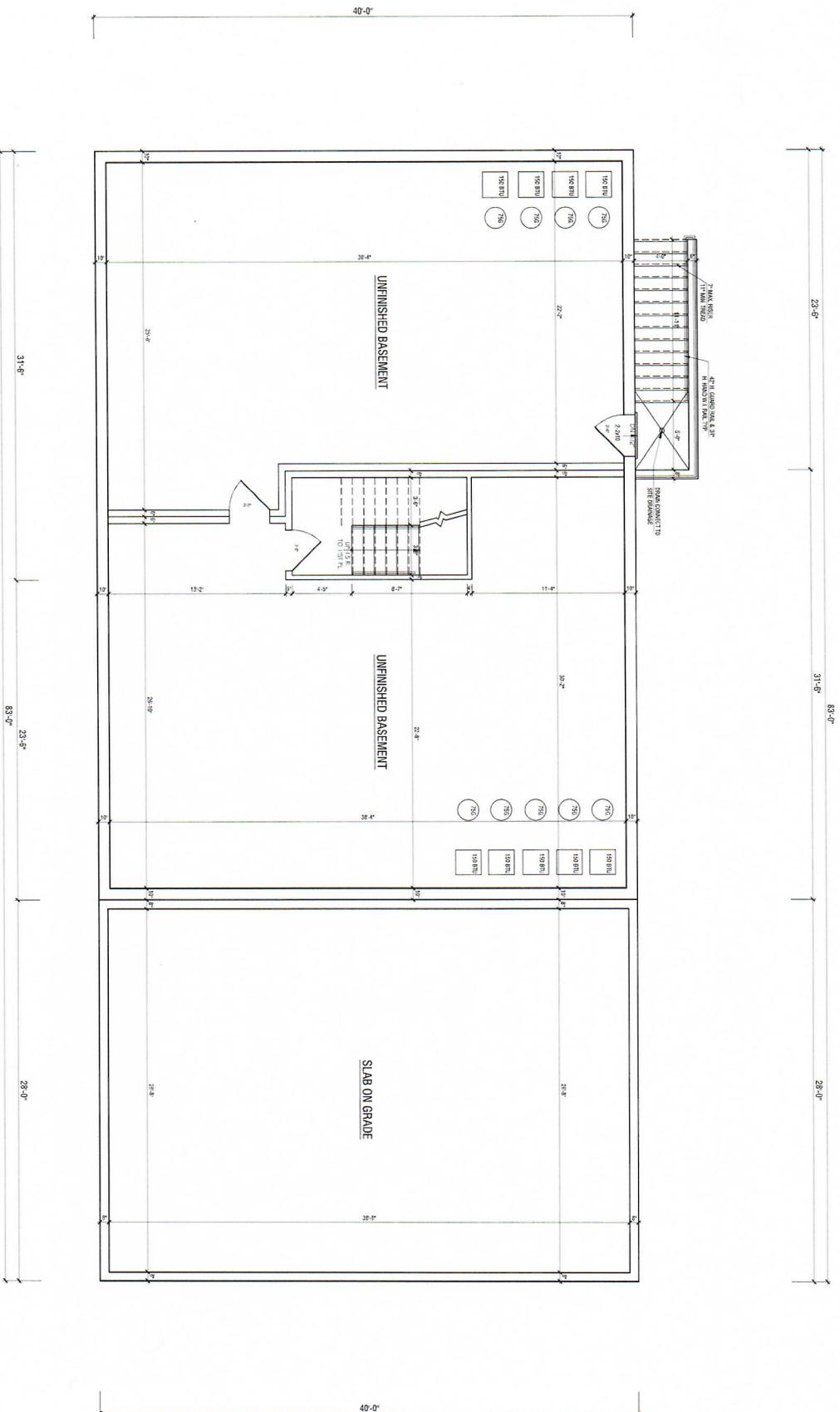
NOTE:
 E = EGRESS WINDOW

REVISIONS	DATE	CONTEXT

Hy Garfinkel
 Architect
 5 Barrnett Avenue
 Monsey, N.Y. 10952
 (845) 356-7777

PROPOSED 3 FAMILY TOR
 14 ROSE LLC
 14 ROSE RD
 SPRING VALLEY, NY

REAR & LEFT SIDE ELEVATIONS			
SCALE	DATE	REV. NO.	JOB NO.
SCALE: AS NOTED	DATE: 11-15-11	REV. NO. A-2	JOB NO. 18-30



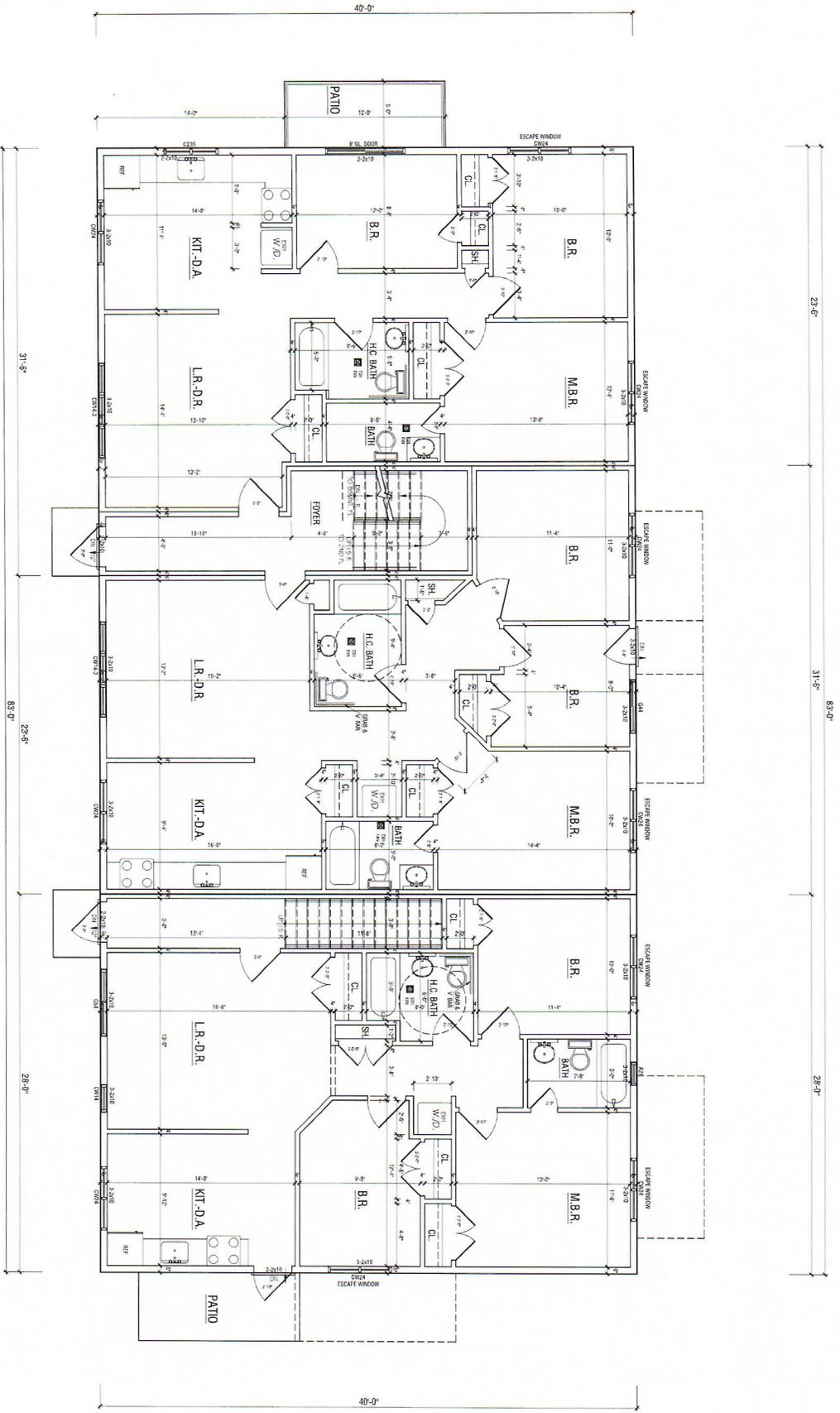
BASMENT &
FOUNDATION PLAN
(7'-5" H CEILING)
SCALE 1/4" = 1'-0"

REVISIONS	DATE	CONTEXT

Hy Garfinkel
Architect
5 Bennett Avenue
Newburgh, NY 12552
(845)385-7777

PROPOSED FAMILY, FOR
14 ROSE LID
SPRING VALLEY, NY

BASMENT, FOUNDATION PLAN, & DETAILS			
SCALE: AS NOTED	DRAW. NO.	JOB NO.	
DRAWN: DM	A-3	18-30	
DATE: 11-18-18	0710		



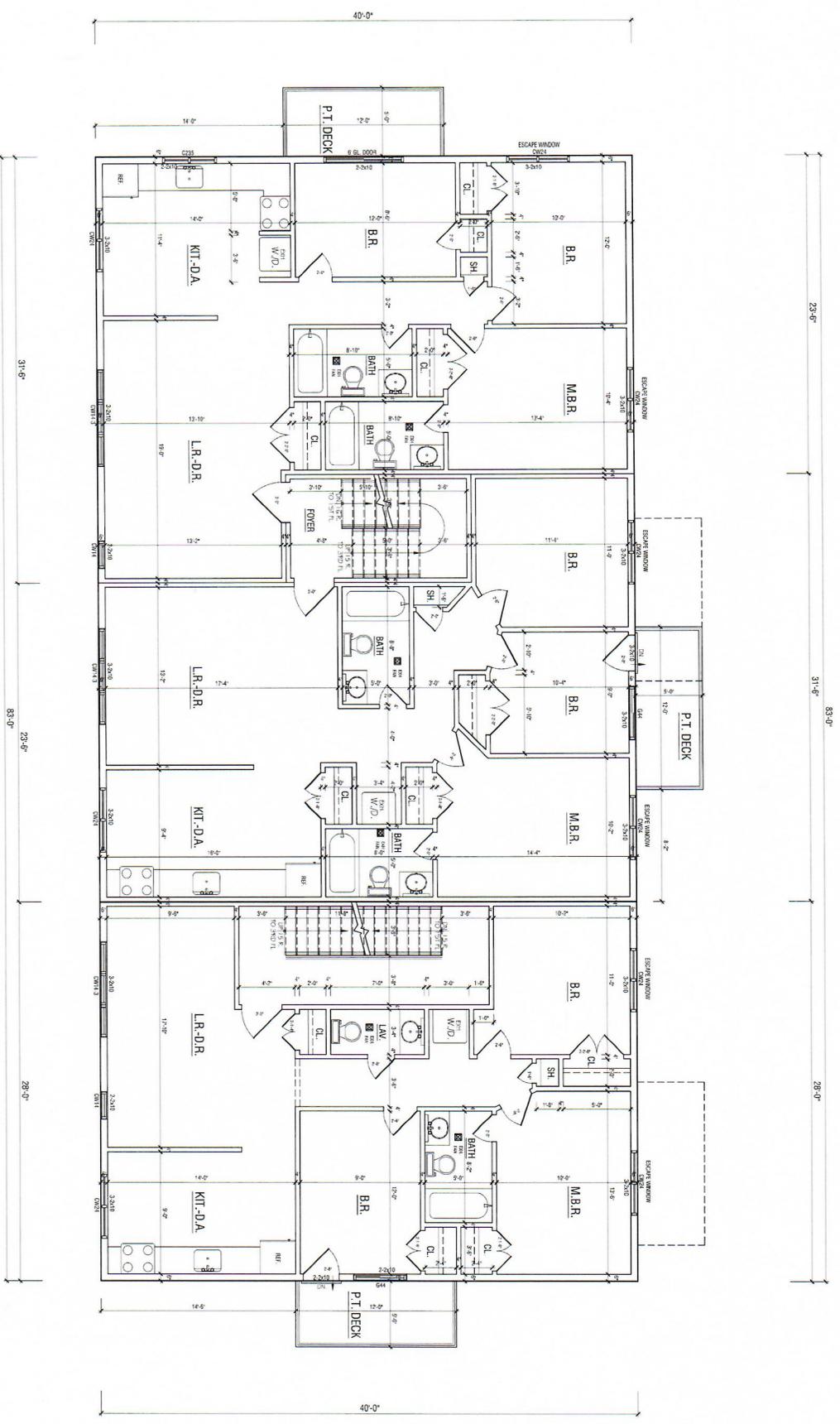
FIRST FLOOR PLAN
 (8'-0" H. CHILING)
 SCALE 1/4" = 1'-0"

REVISIONS	DATE	CONTEXT

Hy Garfinkel
 Architect
 5 BERNARD AVENUE
 SPRING VALLEY, NY 10977
 (845) 356-7772

PROJECTED & SEALY FOR
 ROSEVILLE
 14 ROSE RD
 SPRING VALLEY, NY

SCALE	DATE	DATE	DATE
AS NOTED	11-15-15	11-15-15	11-15-15



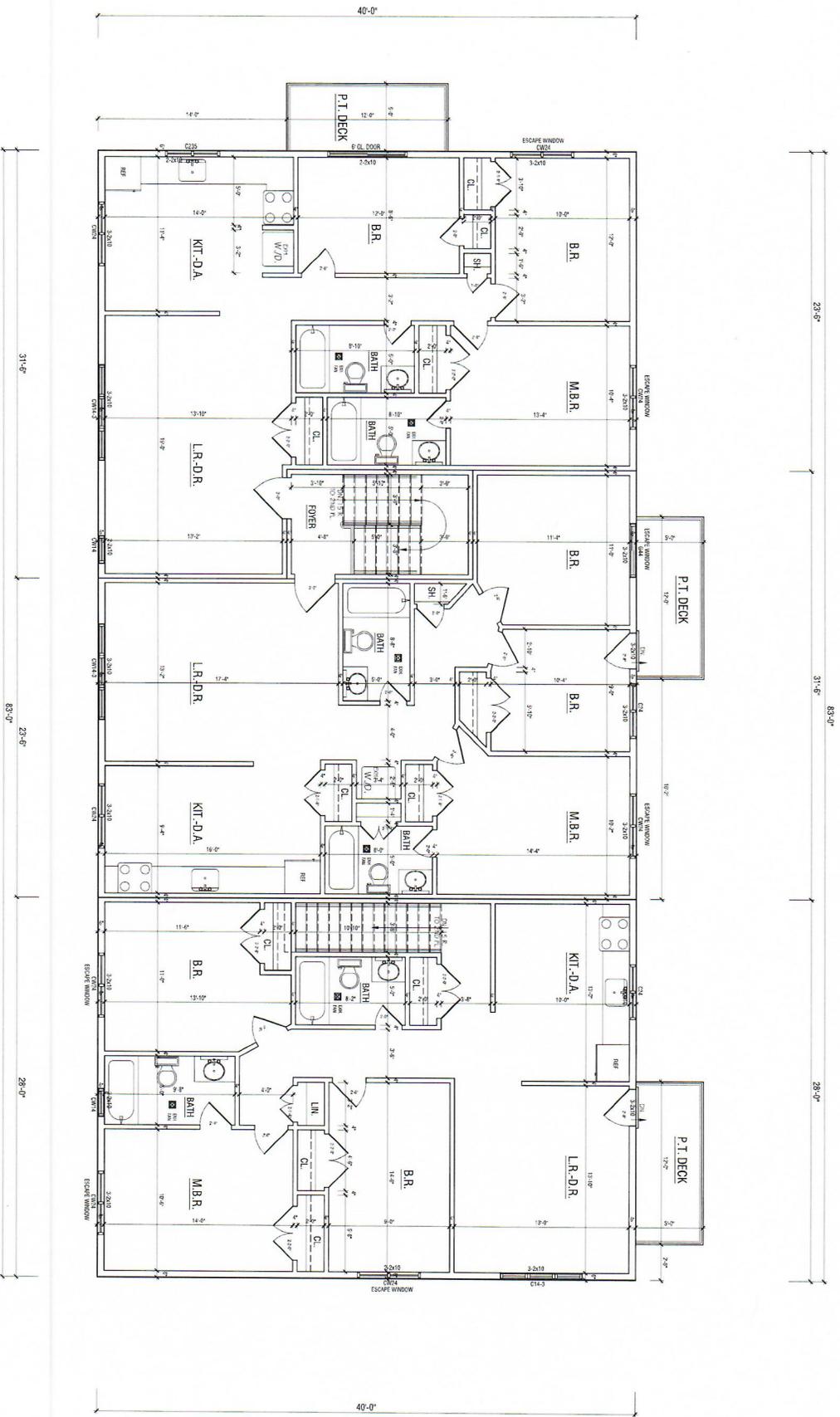
SECOND FLOOR PLAN
 (8'-0" H. CEILING)
 SCALE 1/4" = 1'-0"

REVISIONS	DATE	CONTEXT

Hy Gattinkel
 Architect
 5 Bennett Avenue
 Monterey, N.Y. 10952
 (845)356-7777

PROPOSED FAMILY FOR
 14 ROSE LANE
 SPRING VALLEY, NY

SECOND FLOOR PLAN & DETAIL			
SCALE	AS NOTED	DWG. NO.	JOB NO.
DRAWN	CMR	A-5	18-30
DATE	11-19-18	DT-10	



THIRD FLOOR PLAN
 (8'-0" H. CEILING)
 SCALE 1/4" = 1'-0"

REVISIONS	DATE	CONTEXT

Hy Garfinkel
 Architect
 5 Remsen Avenue
 Morsey, N.Y. 10952
 (845)586-7777

N.Y. REG. NO. 025866

PROPOSED 9 FAMILY FOR
 14 ROSE LANE
 SPRING VALLEY, NY

THIRD FLOOR PLAN & DETAIL			
SCALE	DATE	DWG. NO.	JOB NO.
1/4" = 1'-0"	11-19-18	A-6	18-30
DATE	11-19-18	0710	

MEMORANDUM

TO: Village of Spring Valley Planning Board
FROM: Michael D. Kauker, PP, AICP
Principal
DATE: August 31, 2020
SUBJECT: **324 Route 59**
Review # 1

The following materials were received and reviewed by this office:

1. Site Plan consisting of 1 sheet prepared by Anthony R. Celentano, P.E. dated August 23, 2017 as revised 9/15/19.
2. Application Review Form dated 10/28/19.
3. SEQRA Short Environmental Assessment Form dated 8/19/20.

The following comments are submitted regarding this application for the Planning Boards consideration:

Introduction

The applicant has applied for the consideration of preliminary and final site plan approval in order to construct a two-story office building with a basement and 113 parking spaces. Parking for the office use is proposed in the R-1 Residential District, which is not permitted. The subject property is located on the north side of Route 59 and has frontage on Yatto Lane, Summit Avenue and Tenure Avenue. The subject property has an area of 67,491 square feet and is located within the in the POR and R-1 Districts.

Since the parking for a nonresidential use is not permitted in a residential zone, the applicant is requesting a zone change from the Village Board to change zoning from an R-1 zoning designation to a POR zoning designation. The applicant has provided the Planning Board with Part 1 of the SEQRA Short Environmental Assessment Form (SEAF). As we previously requested the applicant should provide the Planning Board with a Full Environmental Assessment Form (FEAF), which in addition to the request for site development plan approval should include information regarding the requested zoning amendment.

Application Status

The applicant is on for a preliminary hearing before the Planning Board and it is the applicant's first appearance before the Planning Board.

State Environmental Quality Review Act (SEQRA)

Pursuant to SEQRA regulations this action is identified as an unlisted action. The Planning

Board has taken the following actions related to the SEQRA review:

- Declaration of intent to be Lead Agency: TBD.
- Declaration of Lead Agency: TBD
- Adoption of Part 2: TBD
- Adoption of Negative Declaration: TBD

List of SEQRA Involved Agencies

1. Village of Spring Valley Planning Board
2. Village of Spring Valley Board of Trustees
3. Village of Spring Valley Board of Adjustment
4. New York State Department of Transportation (Possible)

Board Action

Although the Planning Board declared itself Lead Agency at the December 4, 2019 Planning Board meeting, it was not clear whether the applicant would seek a Zone Change or a Use Variance. At this time the applicant is requesting a zone change, which also includes the Village board of Trustees as an involved agency. Because the proposed action is different and now includes additional involved agencies the Planning Board should reissue their intent to be lead agency and all required materials should be sent to the involved agencies.

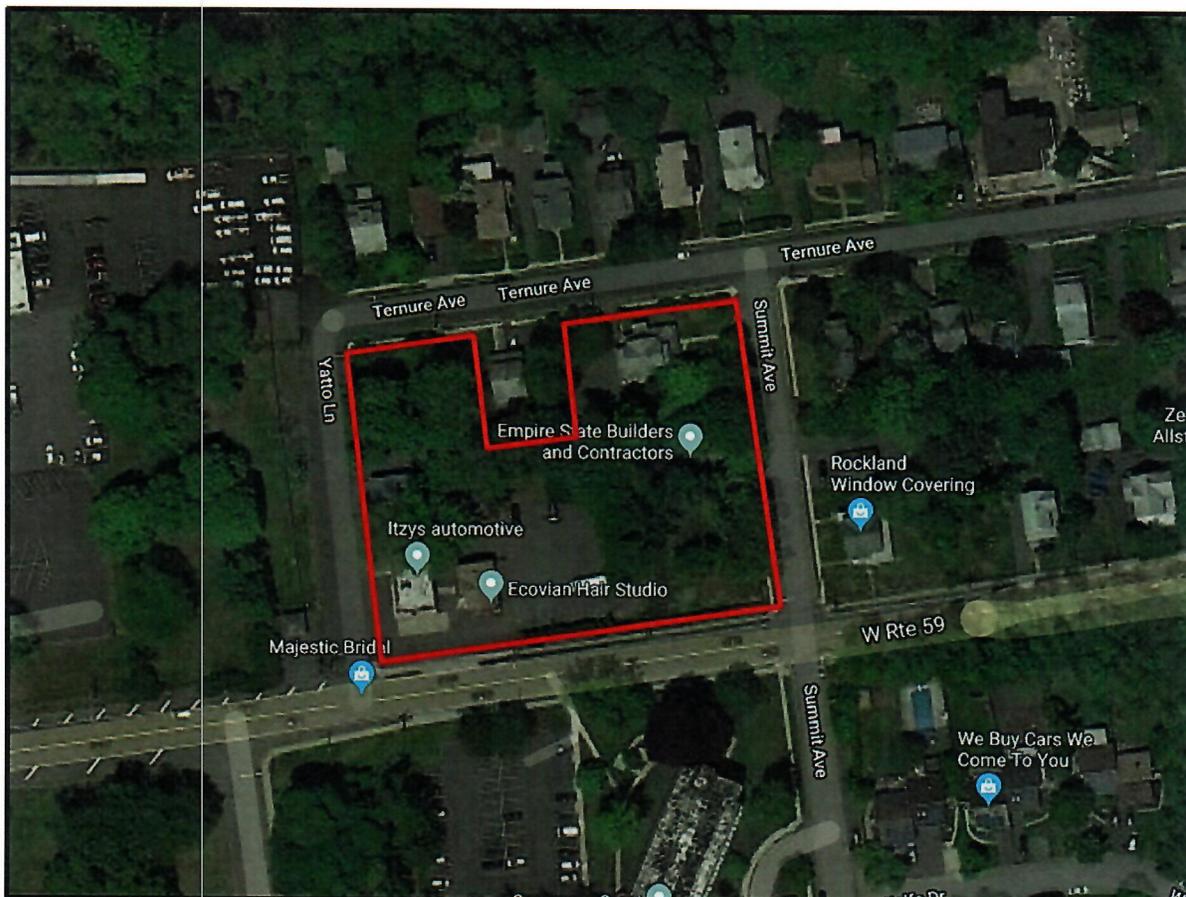
General Comments

1. The applicant should revise the application in accordance with their decision to apply for either a Zone change or a Use Variance. **Applicant is requesting a zone change.**
2. The applicant should provide the Planning Board with Part 1 of the SEQRA Full Environmental Assessment Form (FEAF). **Not Provided.**

Property Description

The subject property is located on the north side of Route 59 and also has frontage on Yatto Lane, Summit Avenue and Tenure Avenue. The property is comprised of six (6) tax lots that are located within the POR and R-1 Districts and has a lot area of 67,491 square feet. The properties are developed with several buildings that include a residential use along Tenure and commercial uses along Route 59. The land uses in the area reflect the underlying zoning. The subject property is bounded by single-family homes along both sides of Tenure and to the west opposite Summit Avenue, and commercial uses along Route 59 to the south, east and west.

The aerial photograph below shows the subject property and its relationship to the surrounding neighborhood.

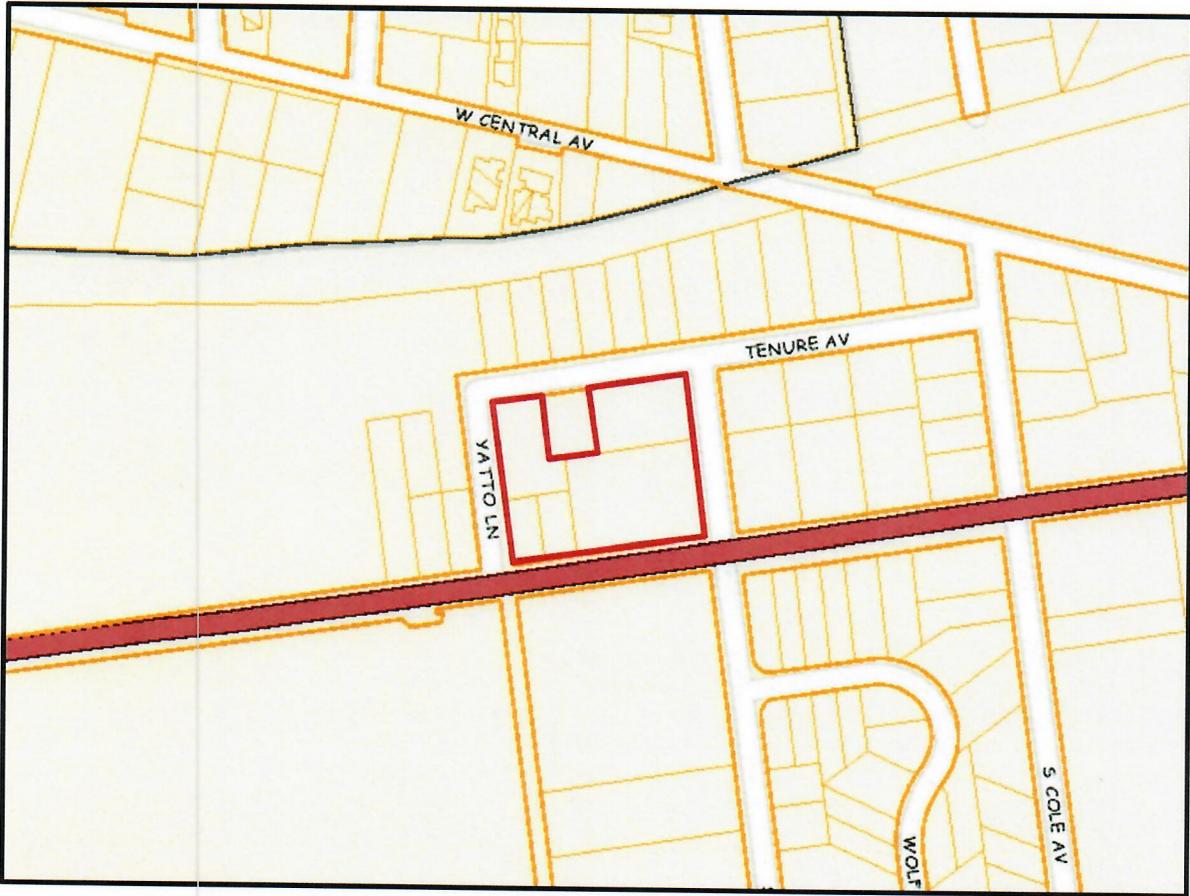


Aerial Map

Source: Google Earth



The following map shows the lot that is the subject of this application in relation to the other lots in the area.



Tax Map

Source: Rockland County GIS



Proposed Development

The applicant's proposal consists the construction of a two-story office building with 113 parking spaces. The proposed building will be situated near the front property line. Separate means of access is provided from Yatto Lane and Summit Avenue via two-way ingress/egress driveways.

cc: Applicant

RYAN KARBEN
ATTORNEY-AT-LAW
11 TARA DRIVE
POMONA, NEW YORK 10970

(914) 536-4402 (TEL.)·(845) 503-2193 (FAX)
RYAN@RYANKARBEN.COM

August 31, 2020

Hon. Moses Koth, Chairman
Planning Board
Village of Spring Valley
200 North Main Street
Spring Valley, New York 10977

Re: 14 Rose Avenue

Dear Chairman Koth:

This office is counsel to the applicant with respect to the proposed development on realty located at the above-referenced location in the Village of Spring Valley.

As part of the Board's review, it considers a May 30, 2018 review conducted by the Rockland County Department of Planning, purportedly pursuant to Sections 239 L & M of the General Municipal Law. The statutory purpose of said review is to address "inter-community and countywide" considerations based on the project's location within 500 feet of the Town of Ramapo. The project does not impact the Town of Ramapo. The review does not identify any specific impacts on Ramapo.

With respect to Comment 1, we note this a use permitted by special permit in the zone consistent with density in the vicinity. Zero net runoff will be complied with and there is adequate public water and sewer capacity. The applicant will pay any sewer impact fee. Development of the property will yield code-mandated affordable housing, which is in limited supply in the Village. Moreover, these comments speak to whether or not the Zoning Board of Appeals should grant variances, not site plan considerations applicable to review by the Planning Board. As such, these comments do not accurately reflect the character of the community and should be overridden.

With respect to Comment 2, the Town of Ramapo has had the opportunity to comment on the application and has not done so.

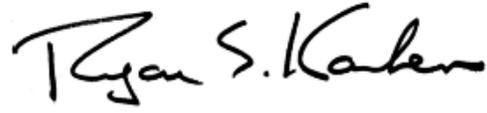
With respect to Comment 6, a turnaround is provided.

With respect to Comment 12, a review is performed by the Village Fire Inspector.

With respect to Comment 14, this is a proposed multi-family building.

With respect to Comment 16, the building complies with the NYS Uniform Fire Prevention and Building Code.

Very truly yours,

A handwritten signature in black ink that reads "Ryan S. Karben". The signature is written in a cursive style with a large, prominent "R" and "K".

RYAN KARBEN