

AGENDA:

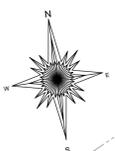
**Village of Spring Valley
200 North Main Street
Spring Valley, New York 10977
845-352-1100**

**Alan Simon
Mayor**

**Planning Board Agenda
June 23rd ,2020
7:00pm**

1. Sleepy Hollow Gardens – Consideration of Final Site Development Plan-Continued
2. 89 S. Main St-Declare Lead/ Part II
3. 26 North Myrtle Ave. – Consideration of Final Site Development Plan
4. Bruno South-38,40,42 union Rd. – Consideration of Reapproval of subdivision to add a signature block for Rockland County Health department to the plat.
5. 41 Rose Ave-consideration of Neg Dec
6. 9-15 Ridge Ave- Extension of prior approval

You may examine the above-listed applications' submissions, which may be viewed at:
www.Villagespringvalley.org



BREWER ROAD

N/F STEEF BARRY & MEGAN
56.20-3-31

N/F JOHN BOZSON & CHAYA
56.20-3-32

N/F HOROWITZ YERACH & FREDA
56.20-3-33

N/F COHEN YERACH
56.20-3-34

N/F TRUL R.I.E. TRUST
56.20-3-35

N/F DEMOSTRERE MADEVA & ENELIOT
56.20-3-36

N/F BERTNER ROSIE
56.20-3-37

SEWER PUMP STATION
RAMPA TO THE TOWN OF
RIGHTS TO USE PUMP STATION TO
MEKLER PER L. 810 P. 91
184.37

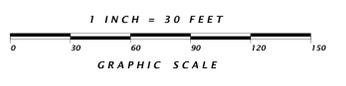
DYASTRAS WAY EAST

HUNGRY HOLLOW ROAD

OLD NYACK TURNPIKE
(AVAILABLE WIDTH)

N.Y.S. ROUTE 59 BYPASS
(AVAILABLE WIDTH)

LUNNEY COURT



THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED ON MARKOUTS. EIT MUST BE CALLED FOR A PROPERTY MARKOUT OF ALL UNDERGROUND UTILITIES. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

LEGEND	
	LIGHT POLE
	SANITARY MANHOLE
	UTILITY POLE
	CATCH BASIN OR CBTC
	SIGN
	W=WATER VALVE
	G=GAS VALVE
	HANDICAP PARKING
	FIRE HYDRANT
	ZONING SETBACK LINE
	DEED PROPERTY LINE
	UNDER GROUND GAS (MARKED BY OTHERS)
	CHAINLINK FENCE
	OVERHEAD WIRES
	INLET
	RIGHT OF WAY
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	OVERHEAD WIRES
	INLET
	RIGHT OF WAY
	CURBING

ALL WALLS LOCATED AND SHOWN ON SURVEY ARE PLUMB



Anthony R. Celentano

REV 6/15/2020

DATE OF PLAT OR MAP: MAY 14, 2019
REVISED 9/23/2019, 9/28/19, REV 5/18/2020

STATE OF NEW YORK
DEPARTMENT OF TAXATION AND FINANCE
DIVISION OF LAND SERVICES

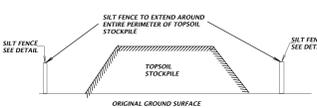
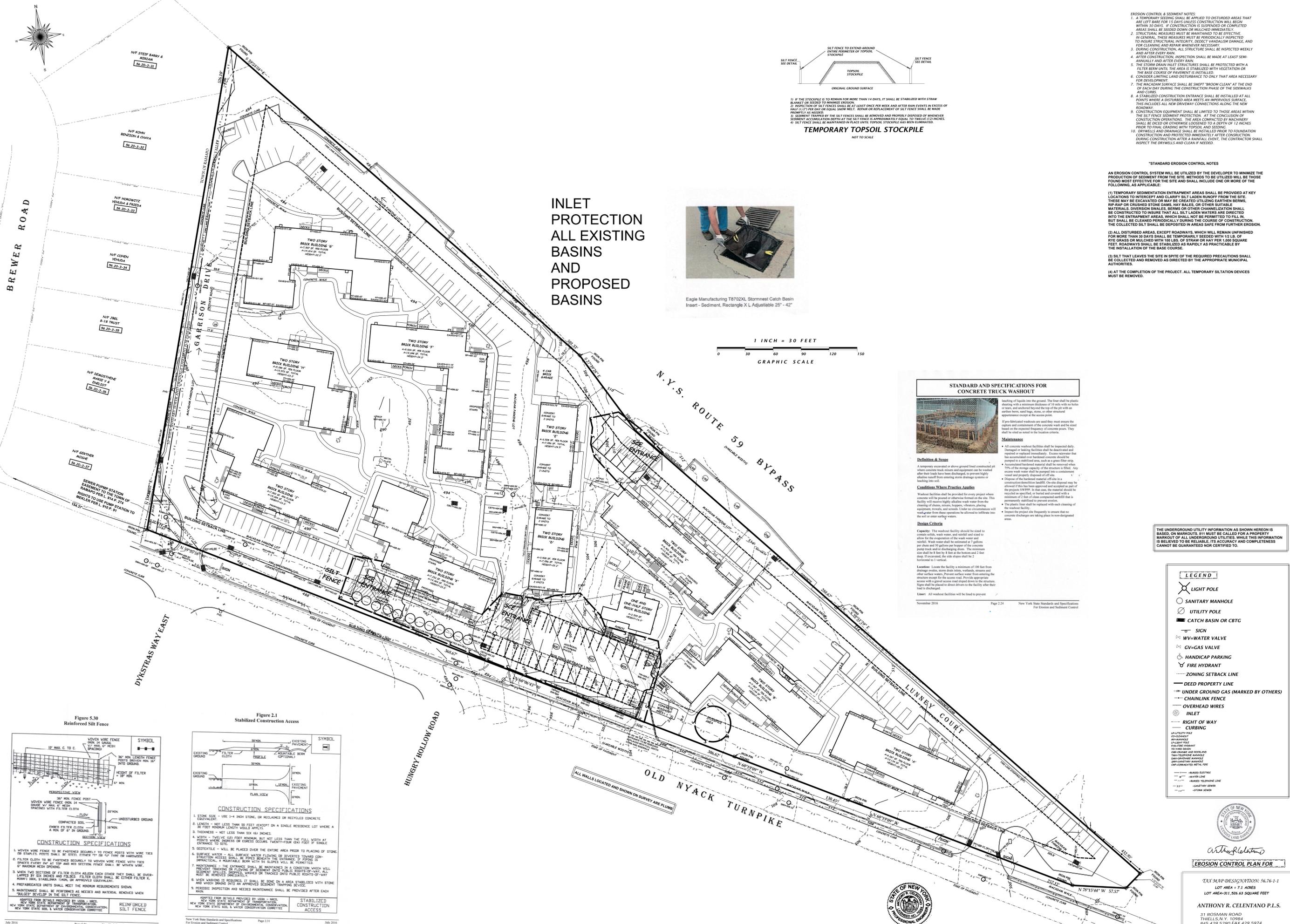
Anthony R. Celentano
GRADING AND UTILITY PLAN FOR

TAX MAP DESIGNATION: 56.76-1-1
LOT AREA - 7.1 ACRES
LOT AREA-311, 526.63 SQUARE FEET

ANTHONY R. CELENTANO P.L.S.
31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974

Anthony R. Celentano LIC#50633

SHEET 2 OF 6 7746

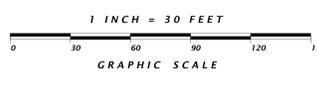


- IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH STRAW BALETS OR COVERED TO MINIMIZE EROSION.
- IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH STRAW BALETS OR COVERED TO MINIMIZE EROSION.
- SEDIMENT TRAPPED BY THE SILT FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SEDIMENT ACCUMULATION REACHES APPROXIMATELY EQUAL TO TWICE ITS DEPTH.
- SILT FENCE SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED.

TEMPORARY TOPSOIL STOCKPILE
NOT TO SCALE



Eagle Manufacturing T8702XL Stormnest Catch Basin
Insert - Sediment, Rectangle X L Adjustable 25' - 42'



INLET PROTECTION ALL EXISTING BASINS AND PROPOSED BASINS

- EROSION CONTROL & SEDIMENT NOTES**
- A TEMPORARY SILT FENCE SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHALL BE SEeded DOWN OR COVERED IMMEDIATELY.
 - STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN CASES WHERE STRUCTURAL MEASURES ARE NECESSARILY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHERE NECESSARY.
 - DURING CONSTRUCTION, ALL STRUCTURE SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
 - AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
 - THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BEAM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
 - CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURBS.
 - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE. THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
 - CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DECEDED OR OTHERWISE LOOSENEED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.
 - DRYWELLS AND DRAINAGE SHALL BE INSTALLED PRIOR TO FOUNDATION CONSTRUCTION AND PROTECTED IMMEDIATELY AFTER CONSTRUCTION DURING CONSTRUCTION AFTER A RAINFALL EVENT, THE CONTRACTOR SHALL INSPECT THE DRYWELLS AND CLEAN IF NEEDED.

STANDARD EROSION CONTROL NOTES

- AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE AREAS MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. OVERFLOW SWALES, BERMS OR OTHER CHANNELLED MATERIALS SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDDED WITH 100 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
 - SILT THAT LEAVES THE SITE IN BRITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED IMMEDIATELY BY THE APPROPRIATE LOCAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES MUST BE REMOVED.

STANDARD AND SPECIFICATIONS FOR CONCRETE TRUCK WASHOUT

Washing of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 10 mils with no holes or tears, and anchored beyond the top of the pit with an earthen berm, sand bags, stone, or other structural appearance except at the access point.

If pre-fabricated washouts are used they must ensure the capture and containment of the concrete wash and be sized based on the expected frequency of concrete pours. They shall be sized as noted in the location notes.

Maintenance

- All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be dismantled and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip.
- Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off-site.
- Disposal of the hardened material shall be in accordance with local health, fire and safety regulations. On-site disposal may be allowed if it has been approved and accepted as part of the project's SWPPP. In that case, the material should be recycled as specified, or hauled and covered with a minimum of 2 feet of clean compacted earthfill that is permanently stabilized to prevent erosion.
- The plastic liner shall be replaced with each cleaning of the washout facility.
- The project site frequently to ensure that no concrete discharge are taking place in non-designated areas.

Design Criteria

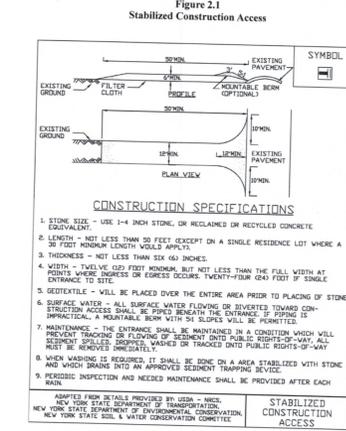
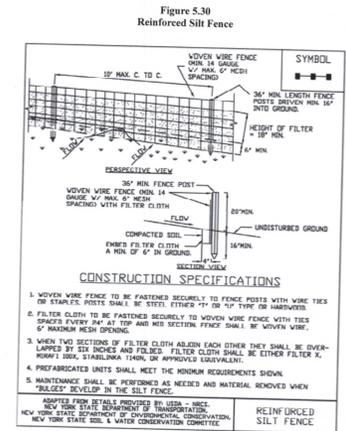
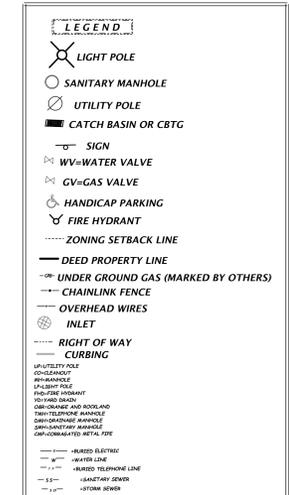
Capacity: The washout facility should be sized to contain solids, wash water, and rainfall and sized to allow for the expansion of the wash water and rainfall. Wash water shall be estimated at 7 gallons per cubic yard and 50 gallons per hopper of the concrete pump truck, and/or discharging drum. The minimum size shall be 8 feet by 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2 horizontal to 1 vertical.

Location: Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, streams, creeks and other surface waters. Prevent surface water from entering the structure except for the discharge. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.

Notes: All washout facilities will be lined to prevent

November 2016 Page 2.24 New York State Standards and Specifications For Erosion and Sediment Control

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ARTHUR J. CELENTANO, P.E.
EROSION CONTROL PLAN FOR
 TAX MAP DESIGNATION: 56.76-1-1
 LOT AREA - 7.1 ACRES
 LOT AREA-311, 526.63 SQUARE FEET
 ANTHONY R. CELENTANO P.L.S.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974
 REV 6/15/2020
 DATE OF PLAT OR MAP: MAY 14, 2019
 REVISED 9/23/2019, 9/28/19 REV 5/18/2020
 SHEET 3 OF 6 7746

SLEEPY HOLLOW GARDENS TITLE NO.: MTANY-137843

KNOWN AS OLD NYACK TURNPIKE, VILLAGE OF SPRING VALLEY, COUNTY OF ROCKLAND, STATE OF NEW YORK

PARCEL:
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON ERECTED, SITUATED LYING AND BEING IN THE VILLAGE OF SPRING VALLEY, TOWN OF RAMAPO, COUNTY OF ROCKLAND AND STATE OF NEW YORK, MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHERLY SIDE OF OLD NYACK TURNPIKE (AS WIDENED) WHICH SAID POINT OF BEGINNING IS THE SOUTHWEST CORNER OF THE PREMISES AND ON THE EASTERLY LINE OF LANDS NOW OR FORMERLY OF ROCKLAND DRIVE-IN THEATER, INC.:

RUNNING THENCE NORTHERLY ALONG SAID THEATER EASTERLY LINE, NORTH 18 DEGREES 18 MINUTES 02 SECONDS EAST, 526.10 FEET;

THENCE EASTERLY ALONG THE SOUTHERLY SIDE OF THE ROUTE 59 PROPOSED BYPASS THE FOLLOWING FOUR (4) COURSES AND DISTANCES:
A) SOUTH 39 DEGREES 51 MINUTES 23 SECONDS EAST 501.33 FEET
B) SOUTH 27 DEGREES 38 MINUTES 28 SECONDS EAST, 100.00 FEET
C) SOUTH 39 DEGREES 51 MINUTES 23 SECONDS EAST 288.07 FEET; AND
D) SOUTH 39 DEGREES 51 MINUTES 23 SECONDS EAST 432.95 FEET;

THENCE SOUTHERLY AND WESTERLY ALONG SAID ROUTE 59 PROPOSED BYPASS THE FOLLOWING TWO (2) COURSES AND DISTANCES:
A) SOUTH 52 DEGREES 55 MINUTES 19 SECONDS WEST 22.00 FEET; AND
B) NORTH 19 DEGREES 15 MINUTES 44 SECONDS WEST 57.57 FEET TO THE NORTHERLY SIDE OF OLD NYACK TURNPIKE (AS WIDENED);

THENCE WESTERLY ALONG THE NORTHERLY SIDE OF OLD NYACK TURNPIKE (AS WIDENED) THE FOLLOWING FOUR (4) COURSES AND DISTANCES:
A) NORTH 60 DEGREES 19 MINUTES 09 SECONDS WEST 257.12 FEET;
B) NORTH 60 DEGREES 19 MINUTES 09 SECONDS WEST 330.45 FEET;
C) NORTH 50 DEGREES 30 MINUTES 43 SECONDS WEST 306.82 FEET; AND
D) NORTH 59 DEGREES 55 MINUTES 58 SECONDS WEST 368.67 FEET TO THE SOUTHWESTERLY CORNER OF THE PREMISES.

THE POINT OR PLACE OF BEGINNING
THE POLICY TO BE ISSUED UNDER THIS REPORT WILL INSURE THE TITLE TO SUCH BUILDINGS AND IMPROVEMENTS ERECTED ON THE PREMISES, WHICH BY LAW CONSTITUTE REAL PROPERTY.

FOR CONVEYANCING ONLY, TOGETHER WITH ALL THE RIGHT, TITLE AND INTEREST OF THE PARTY OF THE FIRST PART, OF IT AND TO THE LAND LYING IN THE STREET IN FRONT OF AND ADJOINING SAID PREMISES.

PREPARED FOR: AWAKE PROPERTIES, LLC SURVEY NO. 7746

A. BASIS OF BEARINGS
BEARINGS ARE BASED ON THE DEED LEGAL DESCRIPTION PROVIDED BY STEWART TITLE INSURANCE COMPANY

B. TITLE COMMITMENT
THIS SURVEY WAS PREPARED BASED ON STEWART TITLE INSURANCE COMPANY TITLE COMMITMENT NUMBER MTANY-137846, EFFECTIVE DATE OF APRIL 30, 2019, WHICH LISTS THE FOLLOWING EASEMENTS AND/OR RESTRICTIONS:

3. AMENDED 04/20/2019 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, AGREEMENTS, ETC. OF RECORD:

1. 150.00 FOOT WIDE ORANGE AND ROCKLAND UTILITIES, INC. TRANSMISSION EASEMENT CITED IN LIBER 842 PAGE 283 MADE BY AND BETWEEN EDWARD SHERMAN, JR. AND JOYCE B. STONELL, PARTIES OF THE FIRST PART, AND AMSHU ASSOCIATES, INC. PARTY OF THE SECOND PART, DATED MAY 7 1968 AND RECORDED MAY 8, 1968. DOES NOT AFFECT SITE

2. OMITTED 4/24/2019- SEWER AND DRAINAGE EASEMENT (10 FEET WIDE) AS CITED IN LIBER 903 PAGE 987 AND LIBER 962 PAGE 38 AND IN LIBER 971 PAGE 635

3. RIGHT OF WAY IN LIBER 412 PAGE 141 MADE BY AND BETWEEN MONSEY REALTY CORPORATION, PARTY OF THE FIRST PART AND RAYMOND RICHTER, SR. AND SARA RICHTER, HIS WIFE, PARTY OF THE SECOND PART DATED SEPTEMBER 17, 1943 AND RECORDED SEPTEMBER 21, 1943, AS MAY AFFECT; AND RIGHT OF WAY IN LIBER 423 PAGE 491 MADE BY AND BETWEEN MONSEY REALTY CORPORATION, PARTY OF THE FIRST PART AND RAYMOND RICHTER, SR. AND SARA RICHTER, HIS WIFE, PARTY OF THE SECOND PART DATED SEPTEMBER 29, 1944 AND RECORDED DECEMBER 7, 1944, AS MAY AFFECT. AFFECTS SITE BY LOCATION - SHOWN

4. SEWER EASEMENT MADE BY AND BETWEEN AMSHU ASSOCIATES, INC. PARTY OF THE FIRST PART AND THE TOWN OF RAMAPO, PARTY OF THE SECOND PART, DATED MARCH 31, 1972 AND RECORDED AUGUST 24, 1972, LIBER 914 PAGE 274; AS AMENDED BY BOOK 483 PAGE 2317 MADE BY AND BETWEEN AMSHU ASSOCIATES, INC. PARTY OF THE FIRST PART AND THE TOWN OF RAMAPO, PARTY OF THE SECOND PART, DATED JUNE 21, 1974 AND RECORDED OCTOBER 22, 1991. AFFECTS SITE BY LOCATION - SHOWN

5. AGREEMENT CONCERNING SEWER PUMPING STATION MADE BY AND BETWEEN AMSHU ASSOCIATES, INC. AND WARREN MEHLER AND IRVING MEHLER AND SHIRLEY MEHLER DATED MAY 15, 1972 AND RECORDED JUNE 15, 1972 IN LIBER 910 PAGE 91. AFFECTS SITE BY LOCATION - SHOWN

6. WATER EASEMENT MADE BY AND BETWEEN AMSHU ASSOCIATES, INC. AND THE SPRING VALLEY WATER COMPANY INCORPORATED DATED OCTOBER 26, 1972 IN LIBER 918 PAGE 551. DOES NOT AFFECT SITE

7. AGREEMENT FOR UNDERGROUND UTILITIES (TELEPHONE EASEMENT) MADE BY AND BETWEEN AMSHU ASSOCIATES, INC. AND NEW YORK TELEPHONE COMPANY DATED MAY 14, 1973 AND RECORDED AUGUST 22, 1973 IN LIBER 933 PAGE 1036. AFFECTS SITE BY LOCATION - SHOWN

OMITTED 5/1 - 8. AGREEMENT (DRAINAGE EASEMENT) MADE BY AND BETWEEN SHIRLEY MEHLER, PARTY OF THE FIRST PART AND AMSHU ASSOCIATES, INC. PARTY OF THE SECOND PART DATED MAY 15, 1972 AND RECORDED MAY 15, 1972 IN LIBER 908 PAGE 417

9. OMITTED 04/18/2019- (EASEMENT AGREEMENT IN LIBER 915 PAGE 275)

10. 10' WIDE SEWER AND DRAINAGE EASEMENT AS SET FORTH IN FILED MAP #4289 AFFECTS SITE BY LOCATION - SHOWN

C. FLOOD NOTE
ACCORDING TO FLOOD INSURANCE RATE MAP OF THE VILLAGE OF SPRING VALLEY, COMMUNITY PANEL NUMBER 36087C01560, EFFECTIVE DATE MARCH 03, 2014, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

D. PARKING SPACES
205 PARKING SPACES ARE PROVIDED
E. ELEVATIONS
ELEVATIONS REFER TO NAVD 88 DATUM

F. MUNICIPAL ZONING
ZONING CLASSIFICATION: THE PROPERTY IS ZONED R-4, MULTI-FAMILY DWELLINGS

MINIMUM LOT AREA-20,000 SQFT
MINIMUM LOT WIDTH-150 FT
MINIMUM FRONT YARD DEPTH-30 FT
MINIMUM SIDE YARD DEPTH-20 FT
MINIMUM REAR YARD DEPTH-50 FT
MAXIMUM BUILDING HEIGHT-80 FT (6 STORIES)
MAXIMUM FLOOR AREA RATIO-10
MINIMUM REQUIRED PARKING-2 SPACES / UNIT

G. NOTES
THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

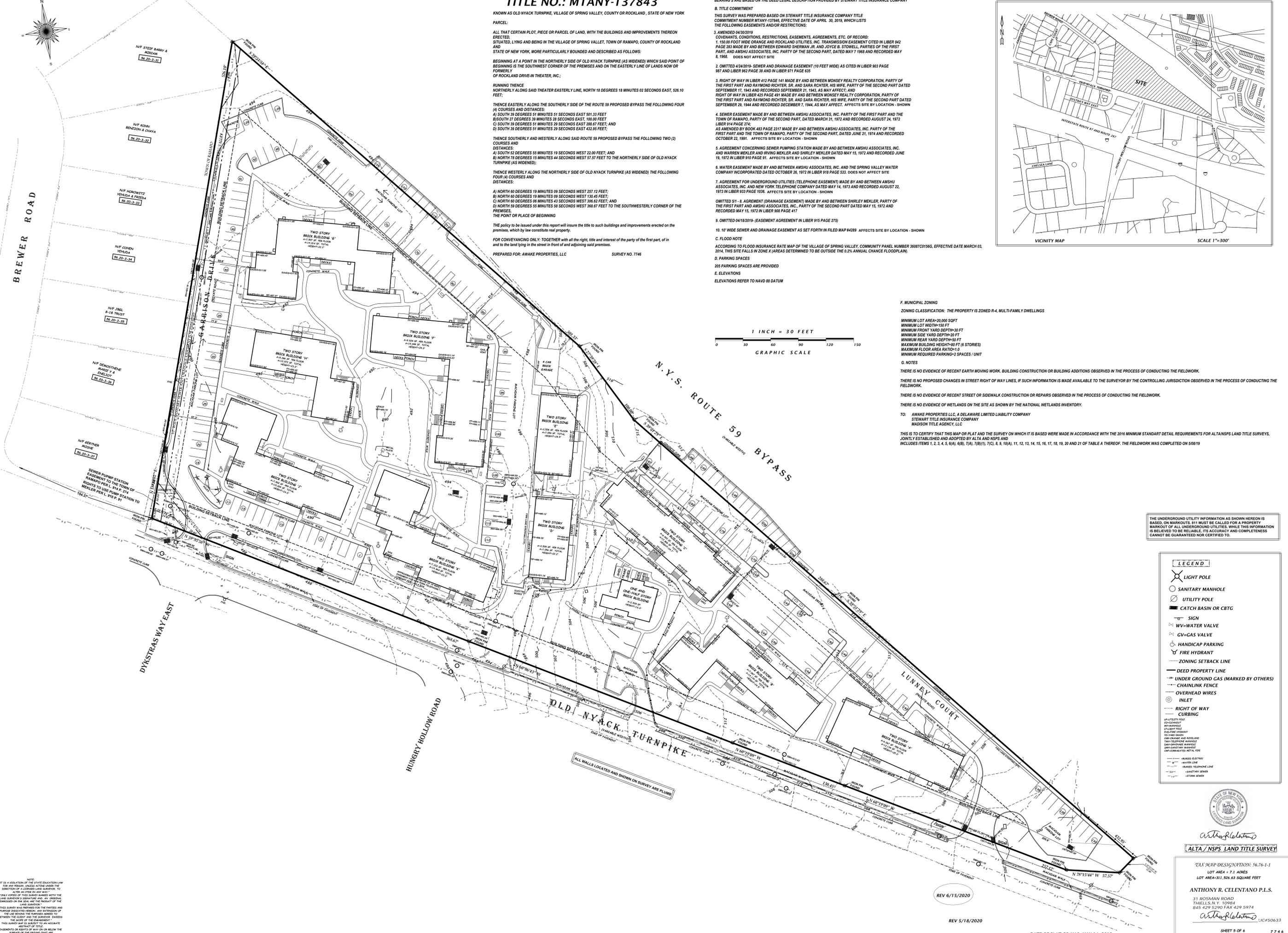
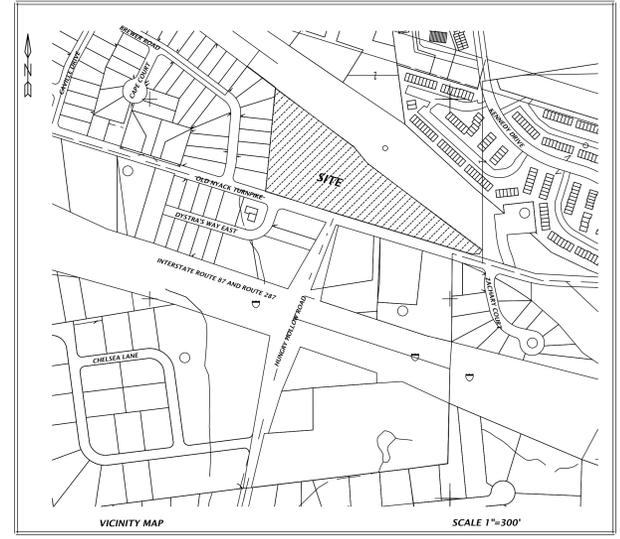
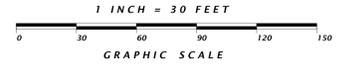
THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

THERE IS NO EVIDENCE OF WETLANDS ON THE SITE AS SHOWN BY THE NATIONAL WETLANDS INVENTORY.

TO: AWAKE PROPERTIES LLC, A DELAWARE LIMITED LIABILITY COMPANY
STEWART TITLE INSURANCE COMPANY
MADISON TITLE AGENCY, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDART DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, UNLESS OTHERWISE SPECIFIED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 5/08/19



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STATE OF NEW YORK
ALTA/NSPS LAND TITLE SURVEY

ARTHUR R. CELENTANO
ALTA/NSPS LAND TITLE SURVEY

TAX MAP DESIGNATION: 56.76-1-1
LOT AREA - 7.1 ACRES
LOT AREA-311,526.63 SQUARE FEET

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31 ROSMAN ROAD
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845.429.5290 FAX 429.5974

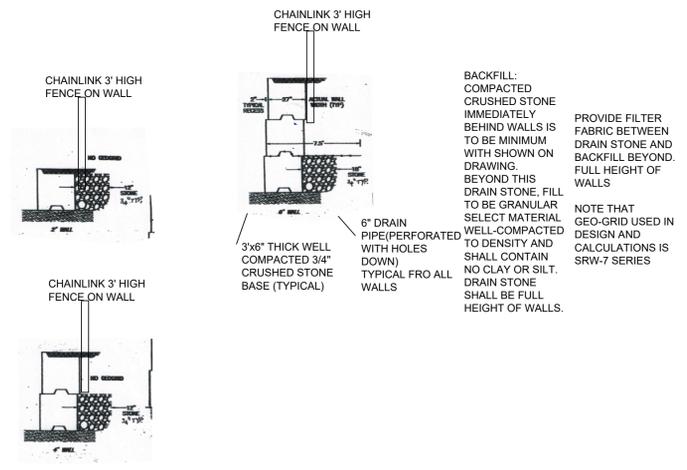
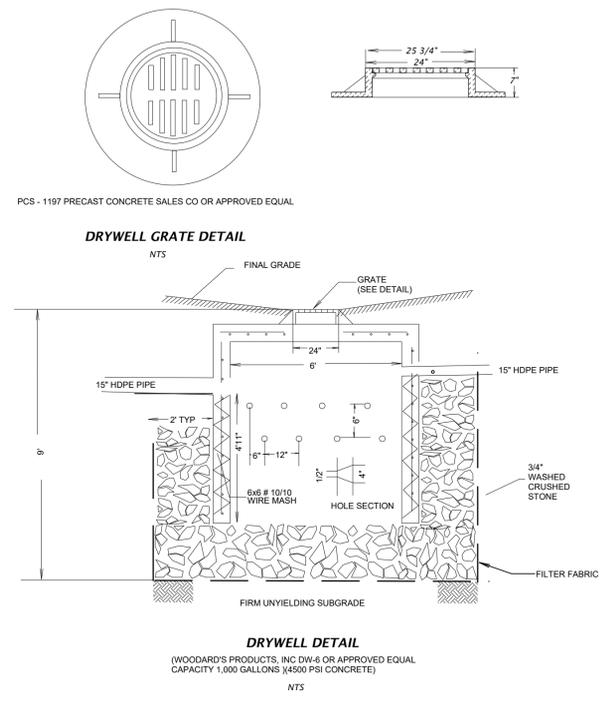
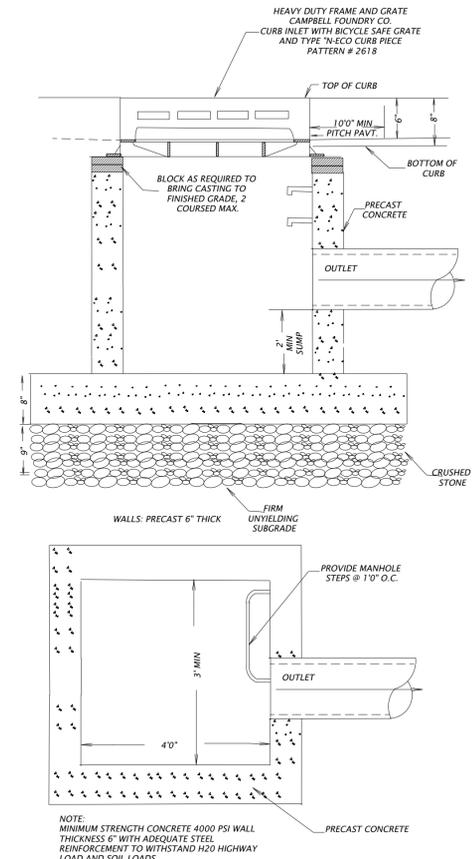
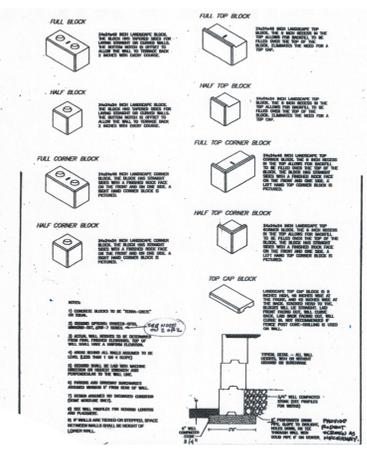
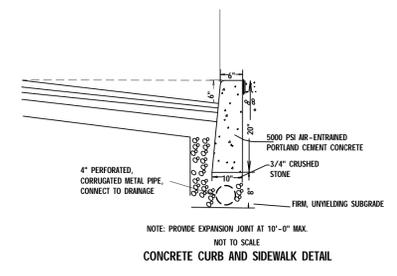
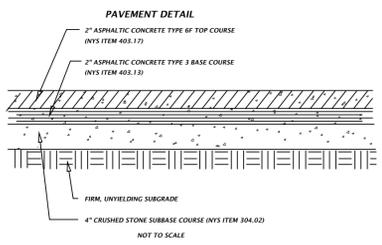
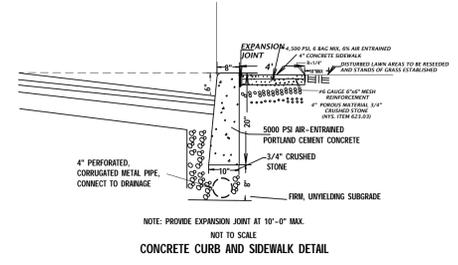
DATE OF PLAT OR MAP: MAY 14, 2019

SHEET 5 OF 6

NOTE:
THIS IS A VIOLATION OF THE STATE ENGINEERING LAW FOR ANY PERSON UNLAWFULLY ACTING UNDER THE AUTHORITY OF A LICENSED LAND SURVEYOR TO REPRODUCE OR TO BE REPRODUCED IN ANY MANNER, IN WHOLE OR IN PART, ANY COPY OF THIS SURVEY DRAWING WITH THE LAND SURVEYOR'S SIGNATURE AND/OR ORIGINAL EMBOSSED OR INK SEAL, AND THE PRODUCT OF THE LAND SURVEYOR.

THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSES INDICATED HEREON, AND EXTENSION OF THE SURVEY TO OTHER PURPOSES OR TO OTHER PARTIES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR IS EXPRESSLY FORBIDDEN.

THIS SURVEY MAP IS SUBJECT TO AN ACCURATE MEASUREMENT OF THE SURVEYED AREA THAT MAY BE NECESSARY TO CORRECT THE SURVEY OF THE SUBJECT PROPERTY AND TO THE SURVEY OF THE ADJOINING PROPERTY.

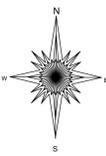


DETAIL SHEET FOR
SLEEPY HOLLOW

TOWN OF RAMAPO, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK
 MAY 18, 2020 SCALE: 1" = 20'
 ANTHONY R. CELENTANO P.E.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974
 Anthony Celetano LIC#76244

REV 6/15/2020





APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF SPRING VALLEY, NEW YORK, ON THE _____ DAY OF _____, 2020, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL. SIGNED THIS _____ DAY OF _____, 2020

CHAIRMAN _____
CLERK _____

APPROVED FOR FILING _____
OWNER _____ DATE _____



LOT AREA: 352,998 SQUARE FEET
TOWN MAP DESIGNATION: 57.62-1-27
LAYOUT PLAN FOR
89 SOUTH MADISON AVE.

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
MARCH 19, 2020 SCALE: 1" = 30'

ANTHONY R. CELENTANO P.E.
31 ROSMAN ROAD
THELLS, N.Y. 10984
845 428 5200 FAX 429 5974

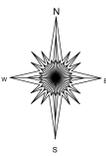
ZONE: R-2 SCHOOL BULK REQUIREMENTS

REQ.	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM	FLOOR AREA	PARKING
	LOT AREA (SQ. FEET)	LOT WIDTH (FEET)	FRONT YARD (FEET)	REAR YARD (FEET)	TOTAL SIDE YARD (FEET)	MAXIMUM BUILDING HEIGHT (FEET)	MAXIMUM BUILDING HEIGHT (FEET)	MAXIMUM BUILDING HEIGHT (FEET)	(SQ. FEET)	(SPACES)
REQ. 8	25,000 SQFT	100	30'	20'	40'	40'	35'	2.5 STORIES	0.30	175
PROV. 8	399,910 SQFT	2100'	30'	20'	40'	40'	<35'	7 STORY	<0.30	65"

*EXISTING CONDITION

PARKING CALCULATION
1481 ELEMENTARY / 17123.4 SPACES
256 SECONDARY / 2511.6 SPACES
TOTAL PARKING REQUIRED: 173
TOTAL AVAILABLE PARKING: 65

REV 5/18/20



LOT AREA 352,998 SQUARE FEET



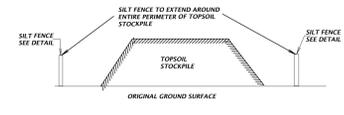
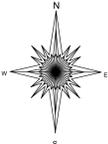
TAX MAP DESIGNATION: 57.70-4-27
GRADING AND UTILITY
PLAN FOR
89 SOUTH MADISON AVE.

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
MARCH 19, 2020 SCALE: 1" = 30'

ANTHONY R. CELETANO P.L.S.
31 ROSSMAN ROAD
THRELLS, N.Y. 10984
845 429 5290 FAX 429 5974

Anthony R. Celetano LIC#50633

#	DATE	DESCRIPTION
1	5/16/2020	SUBMISSION FOR REG. DEC.
2		
3		
4		



- IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH STRAW BLANKET OR SEED TO MINIMIZE EROSION.
- INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF (1/2") PER DAY OR EQUAL SNOW MELT. REPAIR OR REPLACEMENT OF SILT FENCE SHALL BE MADE AS NEEDED.
- SEDIMENT TRAPPED BY THE SILT FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OR WHENEVER SEDIMENT ACCUMULATION DEPTH AT THE SILT FENCE IS APPROXIMATELY EQUAL TO THREE (3) INCHES.
- SILT FENCE SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED.

TEMPORARY TOPSOIL STOCKPILE

NOT TO SCALE

- #### EROSION CONTROL & SEDIMENT NOTES
- A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHALL BE SEED OR MULCHED IMMEDIATELY.
 - STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
 - DURING CONSTRUCTION, ALL STRUCTURE SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
 - AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
 - THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
 - CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
 - THE MACADAM SURFACE SHALL BE SHEEP "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURBS.
 - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE. THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
 - CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA CONTACTED BY MACHINERY SHALL BE DICED OR OTHERWISE LOOSENED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING, TOPSOIL AND SEEDING.
 - DRYWELLS AND DRAINAGE SHALL BE INSTALLED PRIOR TO FOUNDATION CONSTRUCTION AND PROTECTED IMMEDIATELY AFTER CONSTRUCTION DURING CONSTRUCTION AT A RAINFALL EVENT, THE CONTRACTOR SHALL INSPECT THE DRYWELLS AND CLEAN IF NEEDED.

STANDARD EROSION CONTROL NOTES

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OR SEEDMENT FROM THE SITE. MEASURES FROM UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING CARTON BERRS, BIRCH OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDING WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES MUST BE REMOVED.



Figure 2.1 Stabilized Construction Access

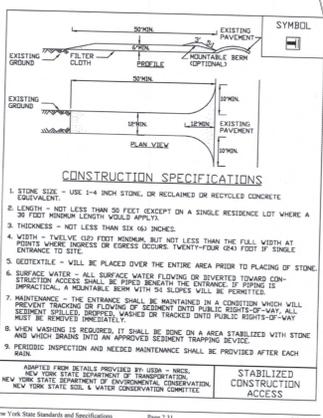
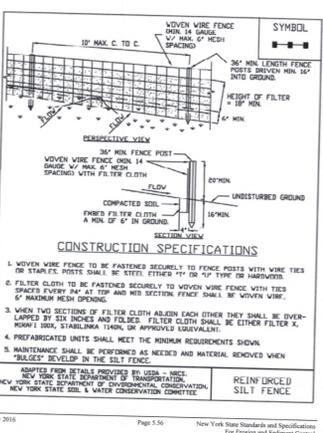


Figure 5.30 Reinforced Silt Fence



STANDARD AND SPECIFICATIONS FOR CONCRETE TRUCK WASHOUT



Washing of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 18 mils with no holes or tears, and anchored to the top of the pit with an anchor system. The liner shall be secured to the top of the pit with an anchor system. They shall be secured to the location criteria.

If pre-fabricated washouts are used they must ensure the capture and containment of the concrete wash and be sized based on the expected frequency of concrete wash. They shall be secured to the location criteria.

- Definition & Scope**
- A temporary excavated or above ground lined construction pit where concrete truck washers and equipment can be washed after their loads have been discharged, to prevent highly alkaline runoff from entering storm drainage systems or leaching into soil.
- Conditions Where Practice Applies**
- Washout facilities shall be provided for every project where concrete will be poured or otherwise formed on site. This facility will receive highly alkaline wash water from the concrete pump truck and/or discharging drum. The minimum size shall be 8 feet by 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2:1 horizontal to 1 vertical.
- Location**
- Locate the facility a minimum of 100 feet from drainage swales, storm drain lines, waterways, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate erosion control on the access road.
- Signs**
- Signs shall be placed to direct drivers to the facility after their load is discharged.
- Notes**
- All washout facilities will be lined to prevent

- Maintenance**
- All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Erosion repair that has accumulated over hardened concrete should be removed to a minimum depth of 4 inches.
 - Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off-site.
 - Dispose of the hardened material off-site in a concrete/recycled materials landfill. Concrete disposal may be allowed if it has been approved and accepted as part of the project's SWPPP. In that case, the material should be recycled as specified, or hauled and covered with a minimum of 2 feet of clean untopsoiled earth that is permanently stabilized to prevent erosion.
 - The plastic liner shall be replaced with each cleaning of the washout facility.
 - Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.

INLET PROTECTION ALL EXISTING BASINS AND PROPOSED BASINS



Eagle Manufacturing T8702XL Stormwater Catch Basin Inlet - Sediment, Rectangle X L Adjustable 25" - 42"



DATE: 3/17/2020

PROJECT: 89 SOUTH MADISON AVE.

SCALE: 1" = 30'

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK

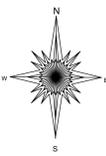
MARCH 19, 2020

ANTHONY R. CELENTANO P.E.
31 ROSSMAN ROAD
THELLS, N.Y. 10984
845 429 5290 FAX 429 5974

PROJECT NO. LCR78244

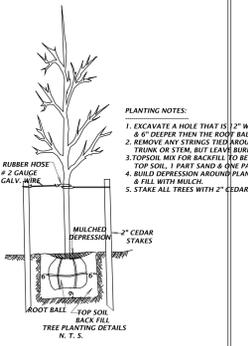
NO.	DATE	SUBMISSION FOR REG. DEC.	DESCRIPTION
1	3/19/2020	SUBMISSION FOR REG. DEC.	CONCEPT PLAN

LOT AREA 352,998 SQUARE FEET



NOTES:

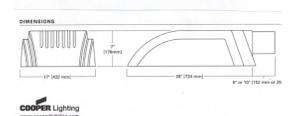
1. ALL EXISTING SOIL FROM PLANTING PITS SHALL BE REMOVED AND PITS SHALL BE BACKFILLED WITH A MIXTURE OF ONE PART PEAT-HUMUS, ONE PART MANURE TO FOUR PARTS TOPSOIL.
2. ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK. ANY LANDSCAPING REQUIRED AS A BUFFER TO SHIELD THE PARKING LOT SHALL REMAIN IN PERPETUITY AS LONG AS THE PARKING LOT EXISTS.
3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD FOR NURSERY STOCK", CURRENT EDITION.
4. ALL PLANT BEDS SHALL CONTAIN 3" MINIMUM SHREDED BARK MULCH ON LANDSCAPE FILTER FABRIC. HOLES FOR PLANTS SHALL BE 2X DIAMETER OF ROOTBALL AND MINIMUM 6" DEEPER THAN THE DEPTH OF THE BALL.
5. THE TOWN SHALL BE NOTIFIED 48 HOURS PRIOR TO PLANTING FOR AN INSPECTION OF PLANT MATERIALS.
6. ALL AREAS OUTSIDE MULCH BEDS AND SAUCERS SHALL BE SEEDED UNLESS OTHERWISE NOTED.
7. TREES SHOWN TO REMAIN SHALL BE PROTECTED WITH CONSTRUCTION FENCING AT THE DRIP LINE. IF DURING CONSTRUCTION, IT IS DETERMINED THAT A TREE PROPOSED TO REMAIN NEEDS TO BE REMOVED, THE APPLICANT SHALL CONTACT THE BUILDING INSPECTOR OR THE VILLAGE PLANNER TO DETERMINE APPROPRIATE MITIGATION. A SIMILAR SIZE AND TYPE OF TREE WILL BE SELECTED FOR ITS REPLACEMENT.
8. LAWN AREAS PREPARATION PER 1000 SF: (SHOW SPECIFICATIONS)
90 LBS HAY MULCH
15 LBS 5-10-10 FERTILIZER, 50% SLOW RELEASE.
70 LBS GRANULATED LIMESTONE.
SEED MIXTURE: 30% tall fescue
30% red fescue
20% blue grass
20% ryegrass



1. MULCH ALL PLANT BEDS AND TREES WITH 4" DEPTH OF SUGAR CANE OR LICORICE ROOT MULCH
2. STAKE ALL TREES WITH 2 CEDAR STAKES, RUBER HOSE AROUND TREE 6" ABOVE GROUND AND TWISTED #10 GAUGE GALVANIZED WIRE.
3. PLANT PITS SHALL BE 12" WIDER AND 6" DEEPER THAN THE ROOT BALL. REMOVE ALL EXISTING SOIL AND BACKFILL WITH A MIXTURE OF ONE PART PEAT-HUMUS TO 4 PARTS TOP SOIL. ADD 3 YEAR EASY GROW FERTILIZER PACKETS (OR EQUAL) - 1 PER INCH OF TREE CALIPER OR PER 12" HEIGHT OF SHRUB.
4. GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
5. ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL. NOTIFY 48 HOURS PRIOR TO PLANTING.
6. PROVIDE THE TOWN OF RAMAPO BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
7. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.

PLANT SCHEDULE

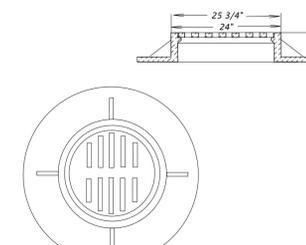
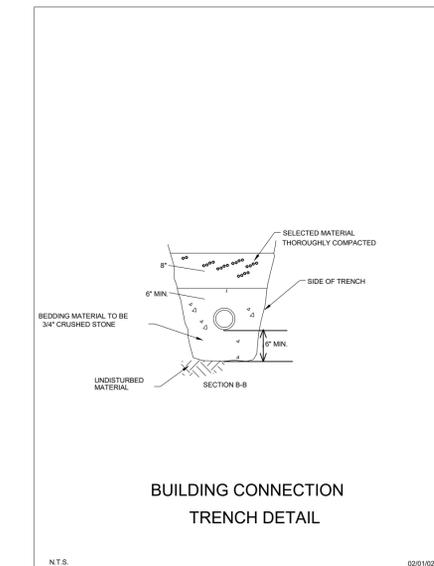
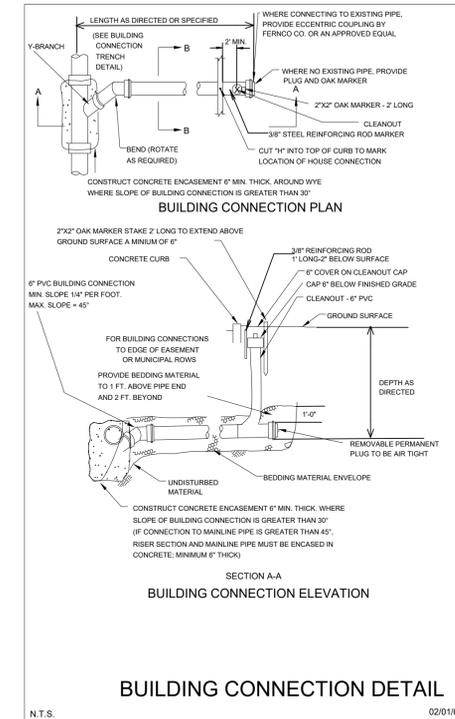
TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
GM	14	OCTOBER GLORY MAPLE / ACER RUBRUM 'OCTOBER GLORY'	B & B
TC	4	GREENSPIRE LITTLELEAF LINDEN / TILA CORDATA 'GREENSPIRE'	2-1/2 - 3" GAL
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT
H	15	TATARIAN DOGWOOD / CORNUS ALBA 'IVORY HALO' TM	3 GAL
PSC	22	PURPLE LEAF SAND CHERRY / PRUNUS X CISTENA	30 - 36" 5 GAL



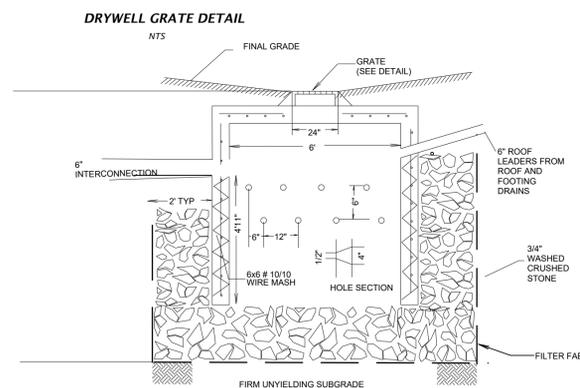
1. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
2. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.

TOWN MAP DESIGNATION: 57.62-1-27
PROPOSED LANDSCAPE & LIGHTING PLAN FOR 89 SOUTH MADISON AVE.

TOWN OF RAMAPO, ROCKLAND COUNTY
 REV 5/17/20
 SPRING VALLEY, NEW YORK
 MARCH 19, 2020 SCALE: 1" = 30'
 ANTHONY R. CELENTANO P.E.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974



PCS - 1197 PRECAST CONCRETE SALES CO OR APPROVED EQUAL



DRYWELL DETAIL
(WOODARD'S PRODUCTS, INC. D1W4 OR APPROVED EQUAL CAPACITY 1,000 GALLONS 14500 PSI CONCRETE)

NO.	DATE	REVISIONS DESCRIPTION
2	5/18/2020	



TAX MAP DESIGNATION: 57.70-1-27

DETAIL SHEET FOR

89 SOUTH MADISON AVE.

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
MARCH 19, 2020

ANTHONY R. CELESTANO P.E.
31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974

Anthony R. Celetano

LIC#76244

Application Name: 89 SOUTH MADISON

Date: 5/18/2020

Village of Spring Valley – Site Development Plan Specifications

A proposed site development plan should be presented in a series of sheets of uniform size containing the information listed below:

1. Preliminary Site Development Plan Specifications for Village of Spring Valley

Item No.	Specifications	Provided	Not Provided
a.	Key plan at 200 scale indicating site location within Village.	300 ✓	
b.	Survey of property with North arrow and scale including:	✓	
1)	Existing contours at 1' or 2' interval.	✓	
2)	Location of all above- and below-ground buildings and structures.	✓	
3)	Location of any major trees 6" caliper and over.	WAIVER	
4)	Locations of all utilities, easements and R.O.W.'s.	✓	
5)	Names and address of all adjoining property owners.	✓	
6)	Present zoning of property.	✓	
7)	Names of all existing streets adjoining property.	✓	
c.	Size and location of all proposed buildings.	✓	
d.	General plan of all proposed site development including:	✓	
1)	Vehicular parking layout with entrances and curb cuts.	✓	
2)	Proposed utility layout for storm water, gas, electric, sanitary, and water.	✓	
3)	Proposed pedestrian walks.	✓	
4)	General description on plan of all site appurtenances including retaining walls, dumpsters, signage and site lighting, etc.	✓	

5)	General placement on plan of all planting.	✓	
6)	General description of erosion control measures proposed.	✓	
7)	General description of any free-standing signage.	✓	
8)	General description of any variances or special permits sought by the applicant.	✓	

2. Final Site Development Plan Specifications for Village of Spring Valley

Note: Final site plan submittal shall substantially conform to approved Preliminary Plan.

Item No.	Specifications	Provided	Not Provided
a.	Completed survey with stamp of licensed surveyor showing all existing utility rims and inverts.	✓	
b.	Finished set of drawings dated and stamped with seal of New York State registered Architect or Engineer including:	✓	
1)	Complete bulk and use tables demonstrating compliance with all regulations as set forth in the zoning ordinance.	✓	
2)	Finished layout of all proposed buildings and site appurtenances.	✓	
3)	Finished grading of site at appropriate contour interval with spot elevations at all breaks in grade and as necessary along all proposed curb lines, walks, and stairs, etc.	✓	
4)	Show typical section of any retaining walls with top of wall and bottom of wall elevations on site plan.	✓	
5)	Show all storm water structures with rims, inverts, and pipe sizes.	✓	
6)	Show all proposed utility connections to existing utilities.	✓	
7)	Provide construction details for all site appurtenances shown in preliminary submittal.	✓	

8)	Show layout and spacing for all planting proposed on site plan.	✓	
9)	Provide complete Plant List with botanical names, plant sizes, and spacing.		
10)	Provide layout for all proposed site lighting. Include construction details showing fixture type, poles base installation, and photometrics.	✓	
11)	Provide preliminary building floor plans with overall dimensions and room names.		
12)	Provide preliminary building elevations.		

TO BE

PROVIDED
BY NIELANT.

CELENTANO ENGINEERING PLLC

31 ROSMAN ROAD THIELLS, NY 10984 PHONE: (845)429-5290 FAX: (845)429-5974

May 17, 2020

Village of Spring Valley

Re: Drainage Calculations

89 South Madison

Spring Valley, NY

Subject: Zero Net Calculations

1. Select Design Storm

Here assume: 100-year, 24-hour, zero increase in runoff.

2. Select type of subsurface disposal system

Precast Drywell use Woodward's concrete products inc. DW-6.5, capacity 1000 gallons, 6 foot deep, 6' diameter, surrounded by 2 foot of crushed $\frac{3}{4}$ " stone with filter fabric..

3. Determine soil percolation rate

a. Area of percolation (A_p):

1) Surface area of cylinder (A_c)

$$A_c = \pi d h_{avg} \\ = 3.14 \times 1 \text{ft} \times 8.5 \text{in} / 12 \text{in/ft} = 2.23 \text{ ft}^2$$

2) Bottom area

$$A_b = \pi r^2 = \pi (0.5)^2 = 0.785 \text{ ft}^2$$

Therefore

$$A_p = A_c + A_b = 2.23 + 0.785 = \underline{3.01 \text{ ft}^2}$$

b. Volume of percolation (V_p):

$$V_p = A_b \times h \\ = 0.785 \text{ ft}^2 \times 1 / 12 \text{in/ft} = \underline{0.0654 \text{ ft}^3}$$

c. Soil percolation rate (S_r):

ASSUME PERCOLATION OF 1" PER 30 MIN

$$S_r = \text{volume/area/time} \\ = 0.0654 \text{ ft}^3 / 3.01 \text{ ft}^2 / 30 \text{ min} \\ S_r = 0.0007 \text{ ft}^3 / \text{ft}^2 / \text{min} \\ \text{Or } 0.0007 \times 60 \text{ min} \times 24 \text{ hr} = 1.04$$

$$S_r = 1.04 - 25\% (\text{clogging factor})$$

$$S_r = 1.04 - 0.26 = 0.78 \text{ ft}^3 / \text{ft}^2 / \text{day}$$

4. Calculate required storage volume (V_s)



100-year, 24 -hour rainfall=9.0 in

Existing CN=74 therefore runoff depth(V_r)=5.82 in

Proposed CN=98 therefore runoff depth (V_r)=8.76 in

Therefore $\Delta V_r = 8.76 \text{ in} - 5.82 \text{ in} = 2.94 \text{ in}$

$V_s = \Delta V_r \times \text{Area}$

$2.94 \text{ in} / 12 \text{ in/ft} \times 20,255 \text{ ft}^2 = 4962 \text{ ft}^3$

5. Volume of drywell (V_w)

As per manufacture 1000 gallon $\times 0.1337 \text{ ft}^3/\text{gal} = 133.7 \text{ ft}^3$

6. Volume of Stone Around Drywell (V_s)

$P_r^2 \times h - \pi r^2 \times h = (3.14 \times 5^2 \times 7.58) - (3.14 \times 3^2 \times 5.58) = 303.7 \text{ ft}^3$

$V_{st} = \text{Use } 40\% \text{ void Volume } (437.33) \times 0.40 = 175 \text{ ft}^3$

7. Calculate 24-hour percolation volume per drywell (V_p)

$V_p = \text{Absorption area} \times \text{soil percolation rate } (S_r)$

Bottom of Drywell area = $3.14 \times 5 \times 5 = 78.5$

= $78.5 \text{ ft}^2 \times 0.78 \text{ ft}^3/\text{ft}^2/\text{day}$

$V_p = 183.69 \text{ ft}^3/\text{day}/\text{drywell} = 61 \text{ ft}^3$

8. Calculate the total 24-hour volume per drywell (V_t)

$V_t = \text{volume of drywell } (V_w) + \text{percolation volume } (V_p) + \text{volume of stone } (V_{st})$

$V_t = 133.7 \text{ ft}^3 + 61 \text{ ft}^3 + 175 \text{ ft}^3 = 369 \text{ ft}^3$

9. Number of drywells used (DW_u)

$DW_R = \text{required volume of storage } (V_s) / \text{total volume per drywell } (V_t)$

$DW_R = 4962 \text{ ft}^3 / 369 \text{ ft}^3 = 13.44$

Use 14 drywell

TR 55 Worksheet 2: Runoff Curve Number and Runoff

Project: _____ Designed By: AC Date: 5/17
 Location: 29 SOUTH MADISON Checked: AC Date: 5/17

Check one: Present Developed

1. Runoff curve number (CN)

20,255

Soil name and hydrologic group (Appendix A)	Cover description (Cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	CN ^{1/}			Area <input type="checkbox"/> acres <input type="checkbox"/> mi ² <input type="checkbox"/> %	Product of CN x area
		Table 2-2	Fig. 2-3	Fig. 2-4		
<u>WVC</u>	<u>OPEN SPACE</u>	<u>74</u>				
Totals =						

^{1/} Use only one CN source per line.

CN (weighted) = $\frac{\text{total product}}{\text{total area}}$ = _____ = _____ Use CN = 74

2. Runoff

Frequency years
 Rainfall, P (24 hour) in.
 Runoff, Q in.

Storm #1	Storm #2	Storm #3
<u>100</u>		
<u>9.0</u>		
<u>5.82</u>		

(Use P and CN with Table 2-1, Figure 2-1, or equations 2-3 and 2-4.)

TR 55 Worksheet 2: Runoff Curve Number and Runoff

Project: _____ Designed By: AL Date: 5/17

Location: 2952 WILMINGTON Checked: AL Date: 5/17

Check one: Present Developed

1. Runoff curve number (CN) 20255

Soil name and hydrologic group (Appendix A)	Cover description (Cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	CN ^{1/}			Area <input type="checkbox"/> acres <input type="checkbox"/> mi ² <input type="checkbox"/> %	Product of CN x area
		Table 2-2	Fig. 2-3	Fig. 2-4		
<u>WUC</u>	<u>OPEN SPACE</u>	<u>99</u>				
Totals =						

^{1/} Use only one CN source per line.

$$\text{CN (weighted)} = \frac{\text{total product}}{\text{total area}} = \text{_____} = \text{_____}$$
 Use CN = 99

2. Runoff

	Storm #1	Storm #2	Storm #3
Frequency years	<u>100</u>		
Rainfall, P (24 hour) in.	<u>9.0</u>		
Runoff, Q in.	<u>8.76</u>		

(Use P and CN with Table 2-1, Figure 2-1, or equations 2-3 and 2-4.)

Soil Map—Rockland County, New York



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rockland County, New York
 Survey Area Data: Version 17, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 7, 2013—Feb 26, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soil Map Unit Polygons	 Stony Spot
 Soil Map Unit Lines	 Very Stony Spot
 Soil Map Unit Points	 Wet Spot
 Special Point Features	 Other
 Blowout	 Special Line Features
 Borrow Pit	 Streams and Canals
 Clay Spot	 Interstate Highways
 Closed Depression	 US Routes
 Gravel Pit	 Major Roads
 Gravelly Spot	 Local Roads
 Landfill	 Aerial Photography
 Lava Flow	
 Marsh or swamp	
 Mine or Quarry	
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Soddy Spot	

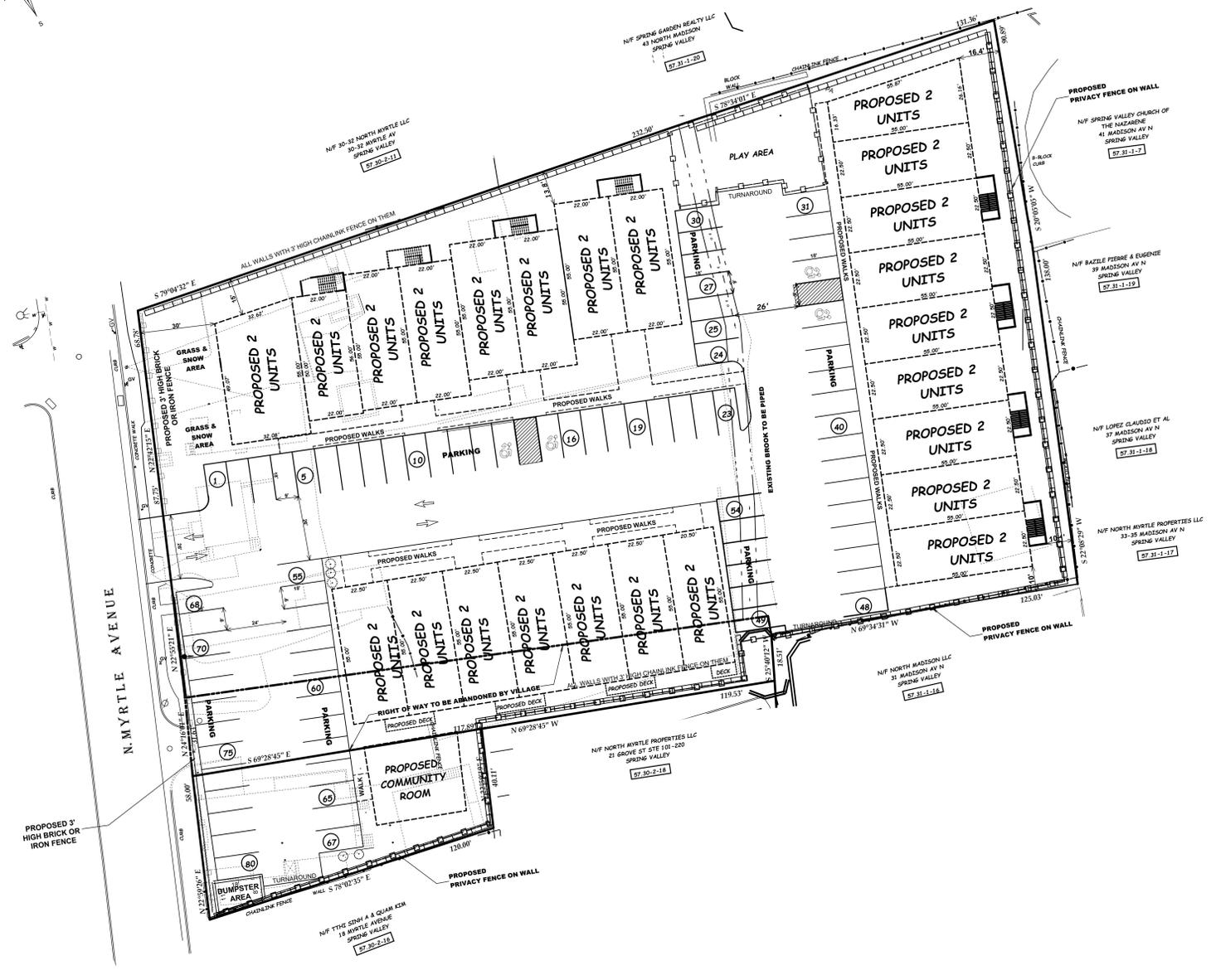
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Us	Udorthents, smoothed	3.6	53.1%
WuC	Wethersfield-Urban land complex, 8 to 15 percent slopes	3.2	46.9%
Totals for Area of Interest		6.8	100.0%





- NOTES:
1. TAX MAP NUMBER: MAP 57.30-2-12, 13, 14, 15+ STREET
 2. APPLICANT: 26 NORTH MYRTLE, SPRING VALLEY, N.Y. 10977
 3. OWNER: SAME AS APPLICANT
 4. TOTAL AREA= 82,243.61 SQUARE FEET = 1.89 ACRES
 5. TOTAL NUMBER OF LOTS 4+ STREET
 6. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED IN SECTION 239 L OF THE GENERAL MUNICIPAL LAW WHEN APPLICABLE.
 7. INFORMATION REGARDING PLAT REVIEW, APPROVAL, AND DETAILS IS AVAILABLE IN THE SPRING VALLEY PLANNING BOARD FILES.
 8. ZONE: CB
 9. FIRE DISTRICT: SPRING VALLEY
 10. POLICE DISTRICT: SPRING VALLEY
 11. SCHOOL DISTRICT: EAST RAMAPO
 12. WATER DISTRICT: SUEZ
 13. AMBULANCE: SPRING HILL
 14. ELECTRIC DISTRICT: ORANGE & ROCKLAND
 15. SEWER DISTRICT: RCD#1



ZONE CB

PARKING 48 UNITS, 2 PER UNIT -196 SPACES

USE GROUP	BULK REQUIREMENTS		MULTIFAMILY DWELLING		SPECIAL PERMIT GRANTED							
	MIN. LOT AREA	LOT WIDTH	MINIMUM FRONT YARD	REAR YARD	TOTAL SIDE YARD	MAXIMUM NUMBER OF STORES	MAXIMUM HEIGHT	F.A.R.	PARKING	NUMBER OF STRUCTURES PER LOT	NUMBER OF UNITS	
REQUIRED	20,000 S.F.	150'	30'	20'	50'	40'	3'	40'	0.6	96	1	33-38
PROVIDED	82,243 S.F.	246.68'	30'	10'	16.4'	20'	4'	45'	1.25	80	4	48

*VARIANCE GRANTED

APPROVED FOR FILING

OWNER	DATE
-------	------

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF SPRING VALLEY, NEW YORK, ON THE _____ DAY OF _____, 2020, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL. SIGNED THIS _____ DAY OF _____, 2020.

CHAIRMAN _____
CLERK _____

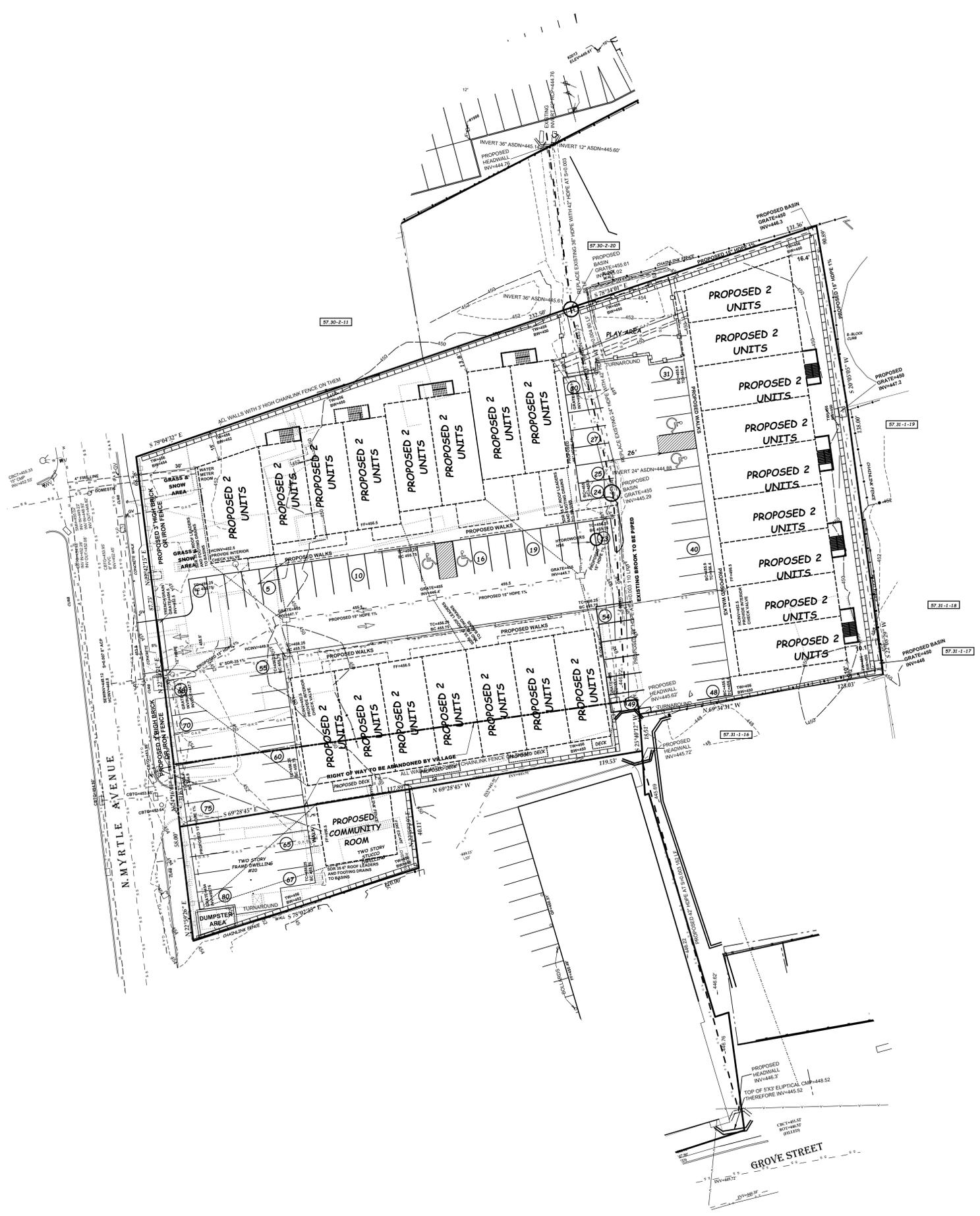
REV 5/17/20

LAYOUT PLAN FOR
26 N. MYRTLE

TOWN OF RAMAPO, ROCKLAND COUNTY
REV 11/18/17
SPRING VALLEY, NEW YORK
FEBRUARY 2, 2016 SCALE: 1" = 20'

ANTHONY R. CELENTANO P.E.
31 ROSMAN ROAD
THIRTELLS, N.Y. 10994
845 429 5290 FAX 429 5974
ICR76244





- REV 12/11/17
- REV 3/21/18
- REV 5/17/18
- REV 8/27/18
- REV 2/3/19
- REV 2/23/19
- REV 3/11/19
- REV 3/29/19
- REV 4/24/19
- REV 5/8/19
- REV 6/26/19
- REV 5/17/2020

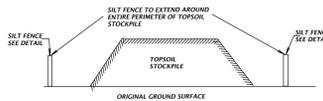
**GRADING AND
UTILITY PLAN FOR
26 N. MYRTLE**

TOWN OF RAMAPO, ROCKLAND COUNTY
REV 11/18/17
SPRING VALLEY, NEW YORK

FEBRUARY 2, 2016 SCALE: 1" = 20'

ANTHONY R. CELENTANO P.E.
31 ROSMAN ROAD
THIELLS, N.Y. 10988
845-428-5200 FAX 429-5974

Anthony R. Celentano LIC# 76244



1) IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH STRAW BALETS OR SEEDS TO MINIMIZE EROSION.
 2) INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF INCHES OF RAIN OR EQUAL SNOW MELT. REPAIR OR REPLACEMENT OF SILT FENCES SHALL BE MADE PROMPTLY AS NEEDED.
 3) SEDIMENT TRAPPED BY THE SILT FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SEDIMENT ACCUMULATION DEPTH AT THE SILT FENCE IS APPROXIMATELY EQUAL TO TWENTY (2) INCHES.
 4) SILT FENCE SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED.

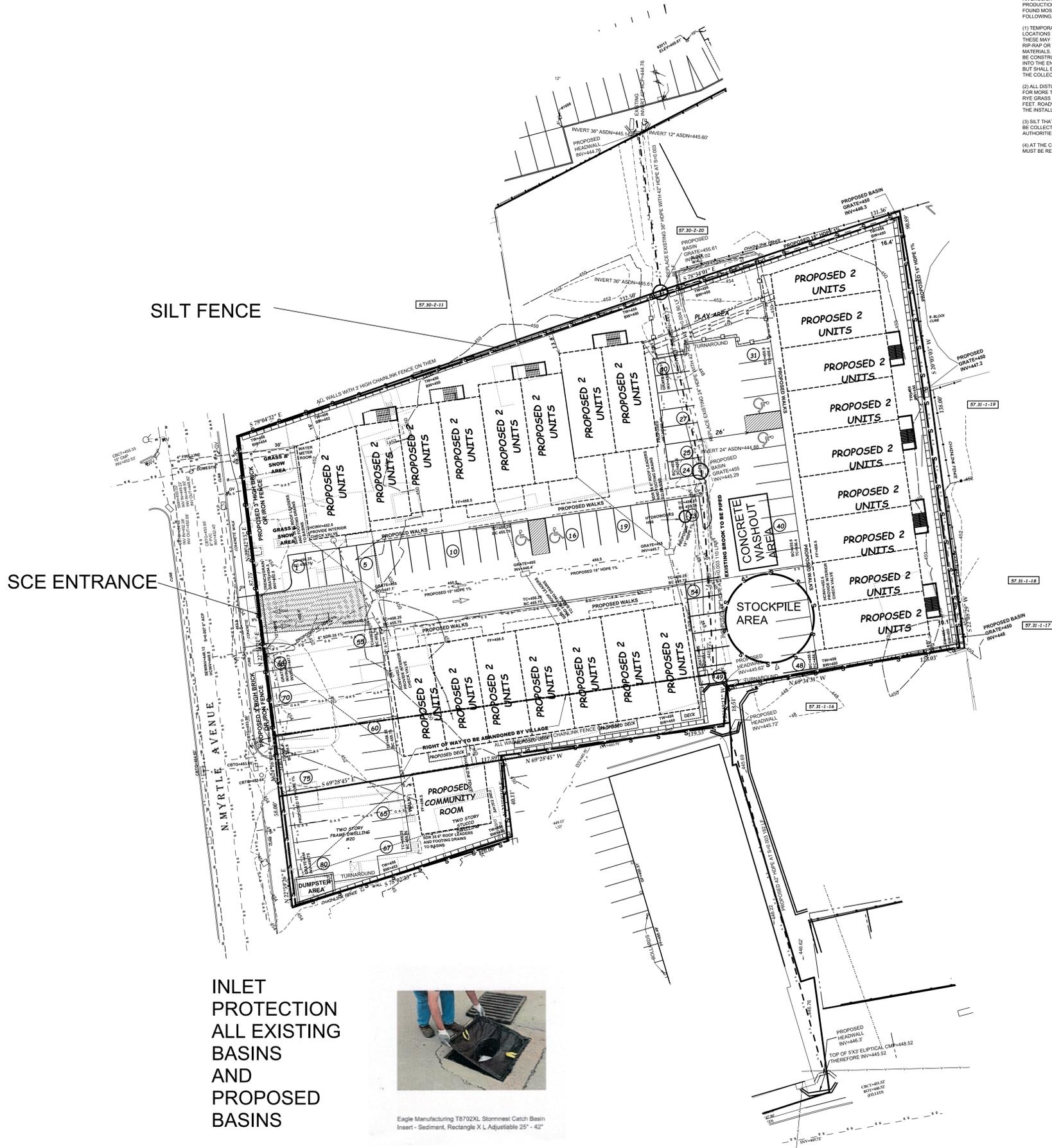
TEMPORARY TOPSOIL STOCKPILE
 NOT TO SCALE

- EROSION CONTROL & SEDIMENT NOTES**
1. A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHALL BE SEEDING DOWN OR MULCHED IMMEDIATELY.
 2. STRUCTURAL MEASURES SHALL BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
 3. DURING CONSTRUCTION, ALL STRUCTURE SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
 4. AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
 5. THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
 6. CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
 7. THE MACADAM SURFACE SHALL BE SWEEP "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURBS.
 8. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPROVED SURFACE. THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
 9. CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DISED OR OTHERWISE COSSOINED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.
 10. DRYWELLS AND DRAINAGE SHALL BE INSTALLED PRIOR TO FOUNDATION CONSTRUCTION AND PROTECTED IMMEDIATELY AFTER CONSTRUCTION. DURING CONSTRUCTION AFTER A RAINFALL EVENT, THE CONTRACTOR SHALL INSPECT THE DRYWELLS AND CLEAN IF NEEDED.

STANDARD EROSION CONTROL NOTES

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

- (1) TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. OVERFLOW CHANNELS, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- (2) ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDING WITH 10 LBS. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
- (3) SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- (4) AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES MUST BE REMOVED.



SILT FENCE

SCE ENTRANCE

INLET PROTECTION ALL EXISTING BASINS AND PROPOSED BASINS



Eagle Manufacturing T8702XL Stormwater Catch Basin
 Insert - Sediment, Rectangle X L Adjustable 25" - 42"

STANDARD AND SPECIFICATIONS FOR CONCRETE TRUCK WASHOUT

Leaching of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 30 mils with the holes or tears, and anchored beyond the top of the pit with an earth berm, sand bags, stones, or other structural appearance except at the access point.

Maintenance

- All concrete washout facilities shall be inspected daily.
- Unseparated or leaking facilities shall be described and repaired or replaced immediately.
- Excess material that has accumulated behind concrete washout shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site.
- Disposal of the hauled material off site in a construction/development landfill. On-site disposal may be allowed if this has been approved and accepted as part of the project SWPPP. In that case, the material should be received in a specified, or hauled and covered with a minimum of 2 feet of clean compacted earthfill that is permanently stabilized to prevent erosion.
- The plastic liner shall be replaced with each cleaning of the washout facility.
- Inspect the project on frequently to ensure that the concrete washout is taking place in non-designated areas.

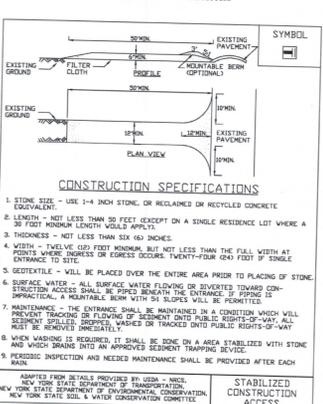
Design Criteria

Capacity: The washout facility should be sized to contain solids, wash water, and rainfall and sized to allow for the expansion of the wash water and rainfall. Wash water shall be contained at 4 gallons per cubic foot and 20 gallons per cubic foot of concrete. Pump truck washout discharging down. The minimum size shall be 1 foot by 1 foot in the bottom and 2 feet deep. If necessary, the side slopes shall be 2 horizontal to 1 vertical.

Location: Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, waterways, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.

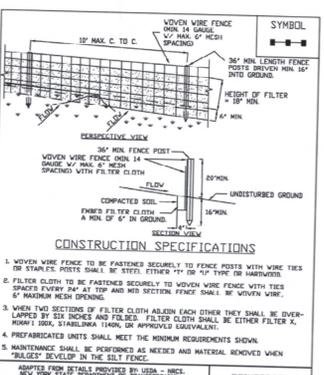
Users: All washout facilities will be lined to prevent.

Figure 2.1 Stabilized Construction Access



- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE.
 2. LENGTH - NOT LESS THAN 50 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A SHORTER ACCESS SHALL BE PERMITTED.
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASES OR DECREASES OCCUR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A REMOVABLE BERM WITH SIX (6) SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT TRAPPED BY THE ENTRANCE SHALL BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WASH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. FREQUENT INSPECTION AND NECESSARY MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

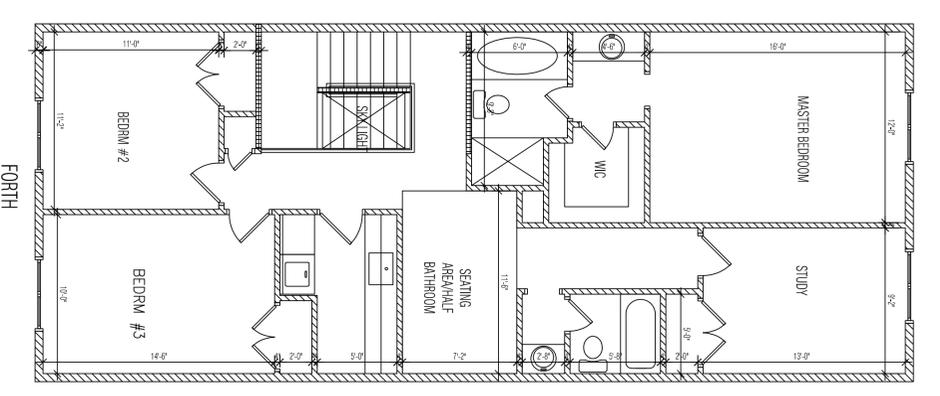
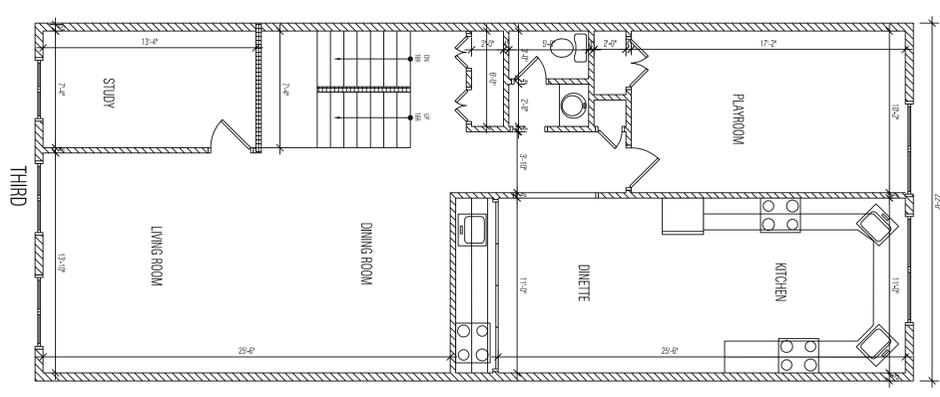
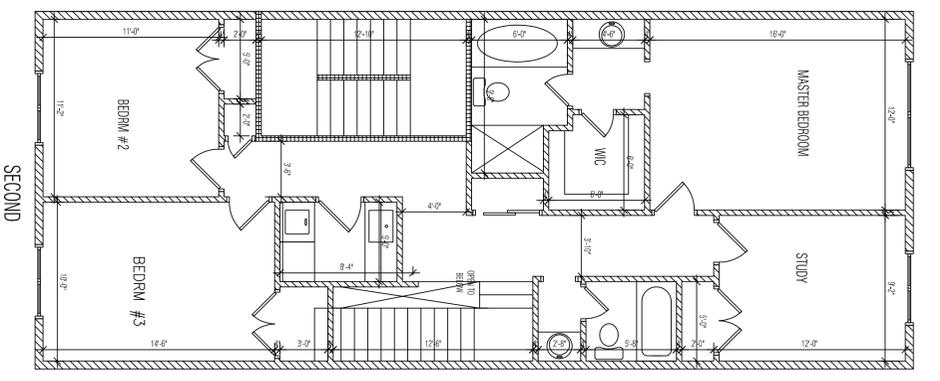
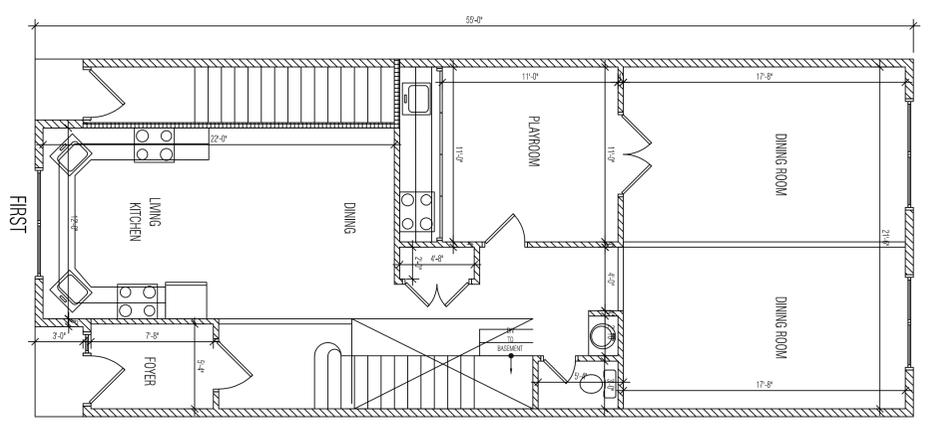
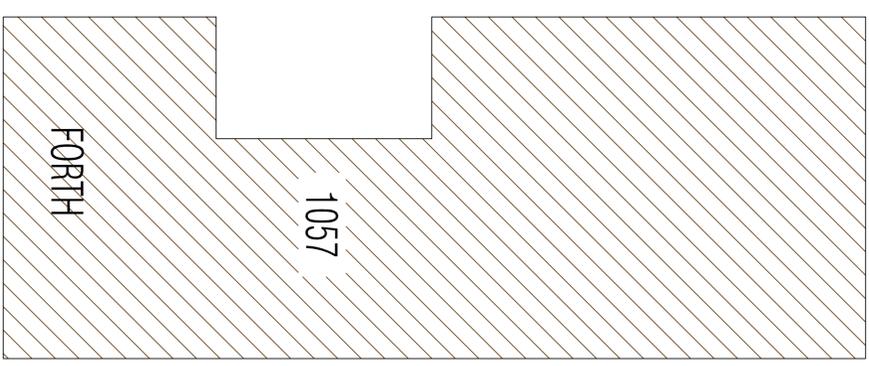
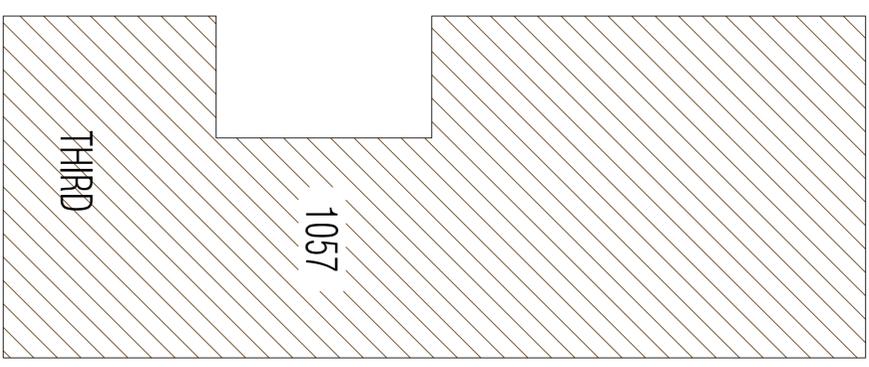
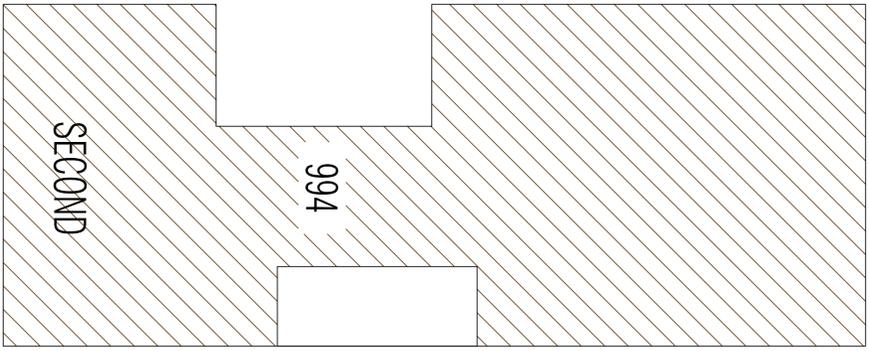
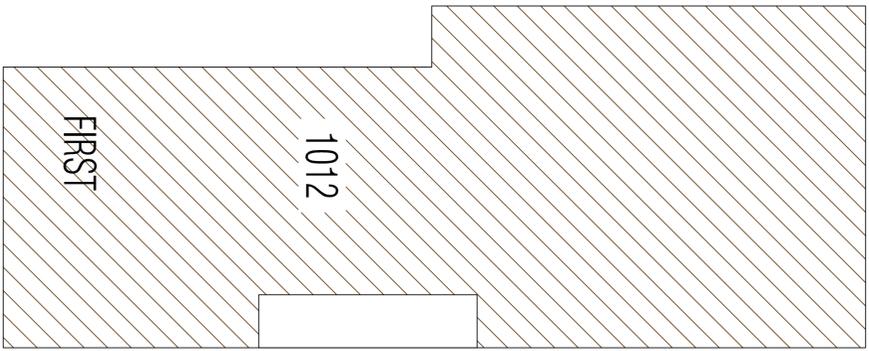
Figure 5.30 Reinforced Silt Fence



- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE SHALL BE PARTITIONED SEQUENTIALLY TO FENCE POSTS WITH WIRE TIES OR STAPLES EVERY 24" AT TOP AND WIRE SECTION FENCE SHALL BE WOVEN WIRE.
 2. FILTER CLOTH TO BE PARTITIONED SEQUENTIALLY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND WIRE SECTION FENCE SHALL BE EITHER FILTER # 6" HODSON RESID SCREENING, OR APPROVED EQUIVALENT.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER # 6" HODSON RESID SCREENING, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL MEET THE HODSON REQUIREMENTS SHOWN.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN NECESSARY.

REV 12/11/17
 REV 3/21/18
 REV 5/17/18
 REV 8/27/18
 REV 2/3/19
 REV 2/23/19
 REV 3/11/19
 REV 3/29/19
 REV 4/24/19
 REV 5/8/19
 REV 6/26/19
 REV 5/17/2020

EROSION CONTROL PLAN FOR
26 N. MYRTLE
 TOWN OF RAMAPO, ROCKLAND COUNTY
 SPURRY VALLEY, NEW YORK
 FEBRUARY 2, 2016 SCALE: 1" = 20'
 ANTHONY R. CELENTANO P.E.
 31 ROSMAN ROAD
 THIELS N.Y. 10988
 845-429-5200 FAX 429-5974
 ANTHONY R. CELENTANO LIC# 76244



TOTAL FOR 1 BUILDING
= 4120 SQ.FT

1 FLOOR PLANS

SCALE: 3/16" = 1'-0"

SHEET NUMBER T-1.0	PROJECT # : 202080 DATE: 06/18/20 DRAWN BY: GE	PROPOSED MULTI-FAMILY DEVELOPMENT MYRTLE GARDENS 26 NORTH MYRTLE AVE, VILLAGE OF SPRING VALLEY, ROCKLAND COUNTY, NEW YORK	SEAL & SIGNATURE		AB DESIGN ADDRESS: 55 UNION ROAD, SUITE 101, SPRING VALLEY, NY, 10977 TEL: (845) 425-7526 FAX: (845) 371-7587 E-MAIL: info@abdesignusa.com WEBSITE: www.abdesignusa.com	#	DATE:	REVISION:

LAW OFFICE
LICATA & CONKLIN
55 Old Turnpike Road Suite 606
Nanuet, New York 10954

James D. Licata*
Robert V. Conklin**

P: 845-357-4242
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* Admitted in N.Y., N.J. & Washington, D.C.
** Admitted in N.Y. and C.T.

May 15, 2020

Spring Valley Planning Board
Village of Spring Valley
200 North Main Street
Spring Valley, New York 10977

Re: Application for Final Site Plan Approval - Planning Board
Premises: 26 North Myrtle Avenue
Spring Valley, New York 10977

Dear Chairman Koth & Planning Board Memebers,

Kindly let this letter serve to confirm that this office represents the applicant for property located at 26 North Myrtle Avenue in the Village of Spring Valley. As part of the Village Board review the Rockland County Department of Planning has supplied a letter dated June 25, 2019 pursuant to section 239 of the General municipal Law. The purpose of this review is the property's proximity to the Route 45. The Planning Department review issued a disapproval along with 32 comments.

The applicant is requesting an override for the general disapproval and comments #1, #2 & 3. The balance of the comments are acceptable to the applicant and will be addressed.

As to the general disapproval and #1 & #2 of the GML letter dated June 25, 2019

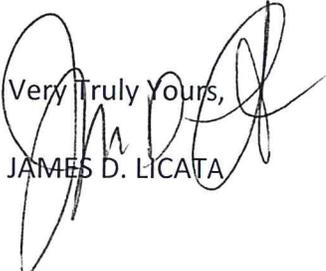
1. Applicant has applied to the Spring Valley Zoning Board of Appeals for variances from the Zoning regulations. This is a use permitted as of right by the Code. The applicant will comply with all zero net runoff regulations. There is adequate public water and sewer capacity. The applicant will pay the sewer impact fee. The replacement housing will comply with all current regulations including fire suppression and 2019 Building Code. The applicant is proposing a larger number of smaller more affordable units. There is a housing shortage in the Village of Spring Valley. The Zoning Code allows for variances in this case. it is a hardship for the applicant to deliver affordable units without increasing the number of units per acre.

OVERRIDE REQUESTED

2. With respect to comment #3, attached please find letter and a diagram dated August 14, 2019 from applicant's engineer, Anthony Celentano. As you can see from his explanation, the site is not within the jurisdiction of the Rockland County Drainage Agency. Based upon the foregoing the applicant request an override of comment #3.

OVERRIDE REQUESTED

3. The applicant has had numerous CDRC meetings with the Village Planner. The plan has dramatically changed since first submitted in August of 2018. Many changes requested by the Village Planner were incorporated into the plan. The applicant has carefully reviewed the County's GML and met with his attorney and engineer. Based upon those meetings a new plan is being submitted tonight. The new plan has addressed the following comments from the GML.
 - a. Comment #3 – Addressed by the engineer letter attached
 - b. Comment #4 – the application & narrative were provided
 - c. Comment #5 – Map now includes delineation of right of way and abandonment by the Village
 - d. Comment #6 – Vicinity Map amended to include entire parcel
 - e. Comment #7 – Parcel 57.30-2-18 has been removed
 - f. Comment #8 – Dumpster has been moved
 - g. Comment #9 – Turnaround provided for parking spaces 30, 31, 48, 49, 67, & 80.
 - h. Comment #10 – Snow area relocated.
 - i. Comment #11 – Sidewalks, stairs, decks, & entrances added to the Plan
 - j. Comment #12 – pedestrian walkways added to the plan
 - k. Comment #13 – Structures are open decks. All distances requested have been added to the plan
 - l. Comment #14 – DOT reviewed and agreed to
 - m. Comment #15 – Health Department review agreed to
 - n. Comment #16 – Sewer District #1 review agreed to
 - o. Comment #17 – Applicant will obtain letter from Village Flood Plain Administrator
 - p. Comment #18 – Review completed by Spring Valley Fire Department
 - q. Comment #19 – Applicant will comply
 - r. Comment #20 – Applicant will comply
 - s. Comment #21 – Applicant will comply
 - t. Comment #22 – Applicant will comply
 - u. Comment #23 – Applicant will comply
 - v. Comment #24 – Applicant will comply
 - w. Comment #25 – Applicant will comply
 - x. Comment #26 – Applicant will comply
 - y. Comment #27 – Applicant will comply
 - z. Comment #28 – Note added to the plan to describe parallel lines (existing brook to be piped)
 - aa. Comment #29 – Applicant will comply
 - bb. Comment #30 – Applicant will comply
 - cc. Comment #31 – Applicant will comply
 - dd. Comment #32 – Applicant will comply

Very Truly Yours,

JAMES D. LICATA

MEMORANDUM

TO: Village of Spring Valley Planning Board
FROM: Michael D. Kauker, PP, AICP
Principal
DATE: May 21, 2020
SUBJECT: **Bruno Neretich South**

The following materials were received and reviewed by this office:

1. Set of Plans consisting of four (4) sheets prepared for Bruno Neretich (South) by Anthony R. Celentano, P.L.S.
 - a. Sheet 1 of 4 – Layout Plan dated September 23, 2016 last revised 2/6/20.
 - b. Sheet 2 of 4 – Layout Plan dated September 23, 2016 last revised 3/4/18.
 - c. Sheet 3 of 4 – Layout Plan dated September 23, 2016 last revised 3/4/18.
 - d. Sheet 4 of 4 – Layout Plan dated September 23, 2016 last revised 3/4/18.

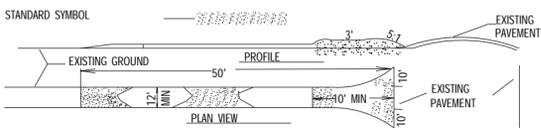
The following comments are submitted regarding this application for the Planning Boards consideration:

Introduction

The applicant has submitted an application to the Planning Board is for a reapproval of a 4-lot subdivision in which a two-family home will be constructed on each lot for a total of 8 dwelling units. The application was previously approved by the Planning Board but requires approval from the Rockland County Department of Health as the subdivision is for 3 or more lots. The only change to the plan is a signature box added to the first page in the upper left-hand corner for the Health Department. We have reviewed all sheets and find that it is on conformance with the prior subdivision plat approved by the Planning Board except for the signature box on Sheet 1. The Planning Board previously acted as the Lead Agency for the SEQRA review for which a Negative Declaration was previously adopted by the Planning Board indicating that there would be no significant impact on the environment. The proposed addition of the signature block is really an administrative action that has no impact on the environment and therefore, we submit to the board that the prior Negative declaration is still valid.

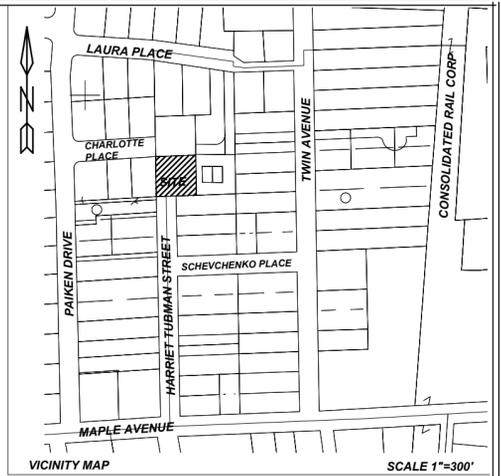
cc: Applicant

STABILIZED CONSTRUCTION ENTRANCE DETAILS

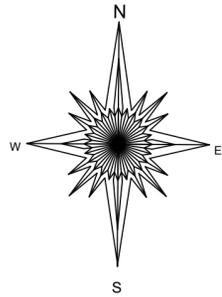


CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slope will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanest of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with a stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.



SMH=472.98
INV=469.58'

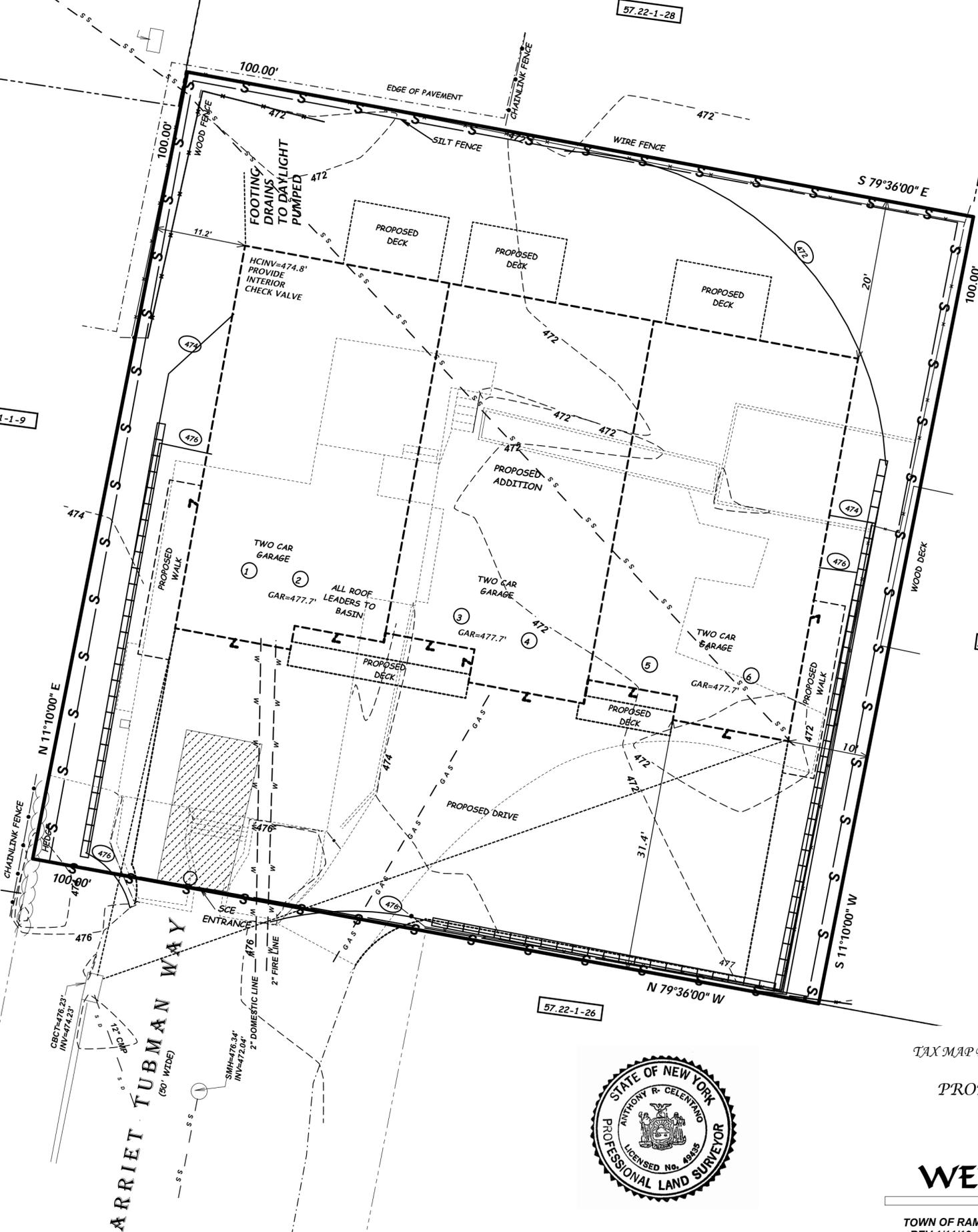


57.21-1-9

57.22-1-28

57.22-1-31.2

57.22-1-26



TAX MAP DESIGNATION: 57.22-1-27

PROPOSED THREE FAMILY

WETTENSTIEN

TOWN OF RAMAPO, ROCKLAND COUNTY
REV 1/11/16 REV 7/18/16
SPRING VALLEY, NEW YORK
REV 1/14/16
APRIL 8, 2015 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.L.S.

31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974

Anthony R. Celentano LIC#49435

ZONE: R-2 EXISTING TWO FAMILY VARIANCE GRANTED FOR THREE FAMILY

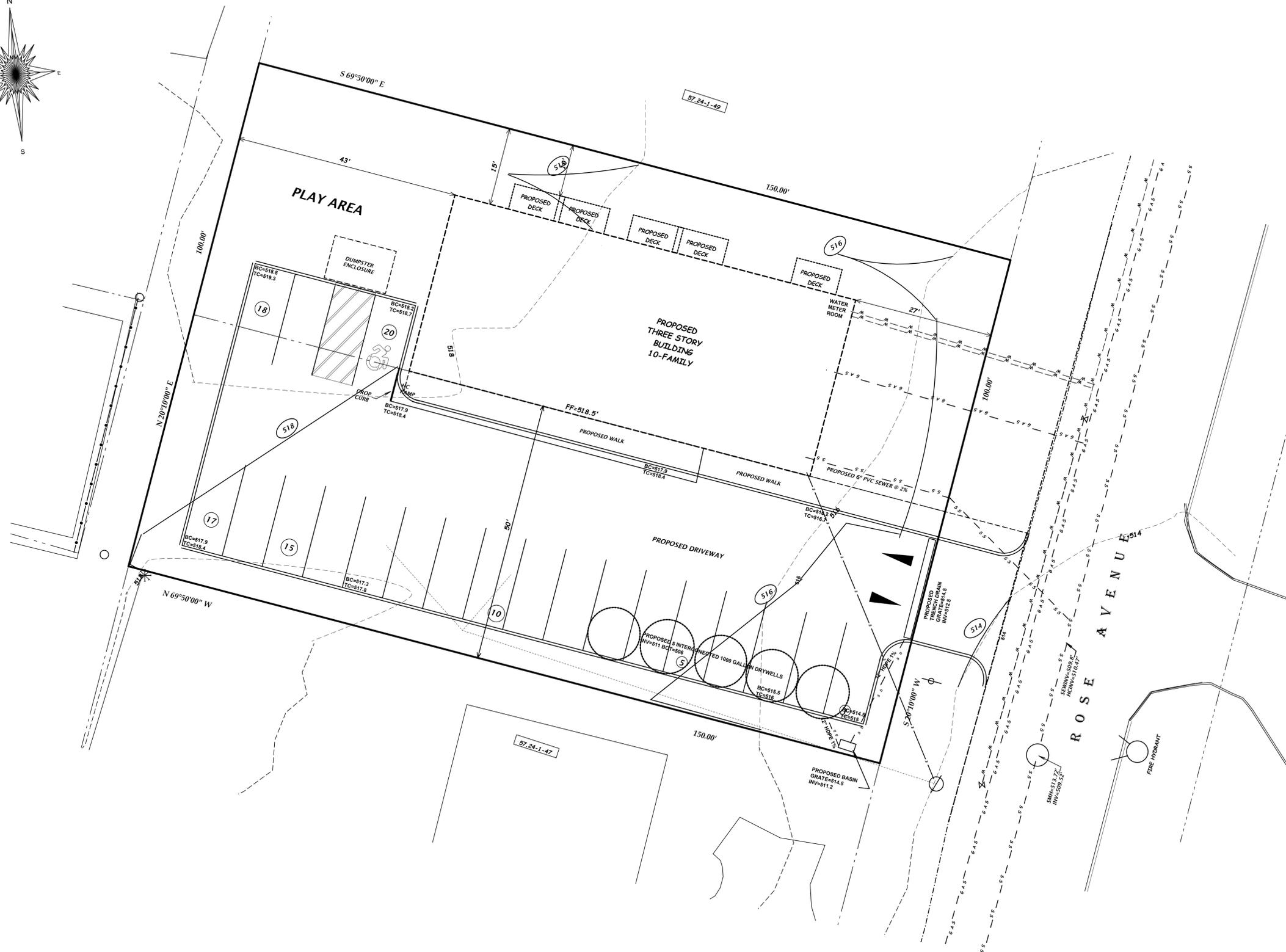
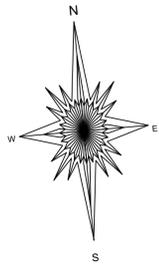
BULK REQUIREMENTS

	USE GROUP	MINIMUM LOT AREA (SQ. FEET)	LOT WIDTH (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	REAR YARD (FEET)	TOTAL SIDE YARD (FEET)	MAXIMUM BUILDING HEIGHT	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO (FAR)	PARKING	STREET FRONTAGE
REQUIRED	C	10,000 SF	100	25'	15'	20'	30'	35'	3 STORIES	0.65	6	70'
GRANTED	C	9,999 SF*	100	9.7'	7.9'	20'	17.9'	<35'	3 STORY	0.65	6	50'
PROVIDED				31.4'	10'		22.2'					
R-4 REQUIREMENT	E	20,000 SF	150	30'	20'	50'	40'	80'	8 STORY	1.0	6	70'

* - VARIANCE GRANTED PARKING IN FRONT YARD GRANTED

LOT AREA=9,999 SQUARE FEET

NOTE:
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"ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL ARE THE PRODUCT OF THE LAND SURVEYOR."
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THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.



TAX MAP DESIGNATION: 57.24-1-48

**GRADING AND
UTILITY PLAN FOR
BUKSBAUM**

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
OCTOBER 22, 2019 SCALE: 1" = 10'

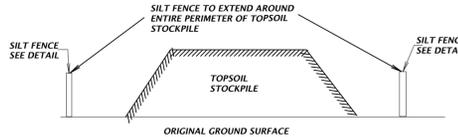
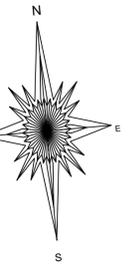


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Anthony R. Celetano LIC#76244

NO.	DATE	DESCRIPTION
3	6/22/2020	REVISIONS
2	5/18/2020	REVISIONS

BEING LOTS 55 & 56 ON A CERTAIN MAP ENTITLED
"LESPIGNASSE ADDITION"
FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE
AS MAP #449 BOOK #22 PAGE #412 ON 4/17/1895.



- 1) IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH STRAW BLANKET OR SEEDED TO MINIMIZE EROSION.
- 2) INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF (1/2") PER DAY OR EQUAL SNOW MELT. REPAIR OR REPLACEMENT OF SILT FENCE SHALL BE MADE PROMPTLY AS NEEDED.
- 3) SEDIMENT TRAPPED BY THE SILT FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SEDIMENT ACCUMULATION DEPTH AT THE SILT FENCE IS APPROXIMATELY EQUAL TO TWELVE (12) INCHES.
- 4) SILT FENCE SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED.

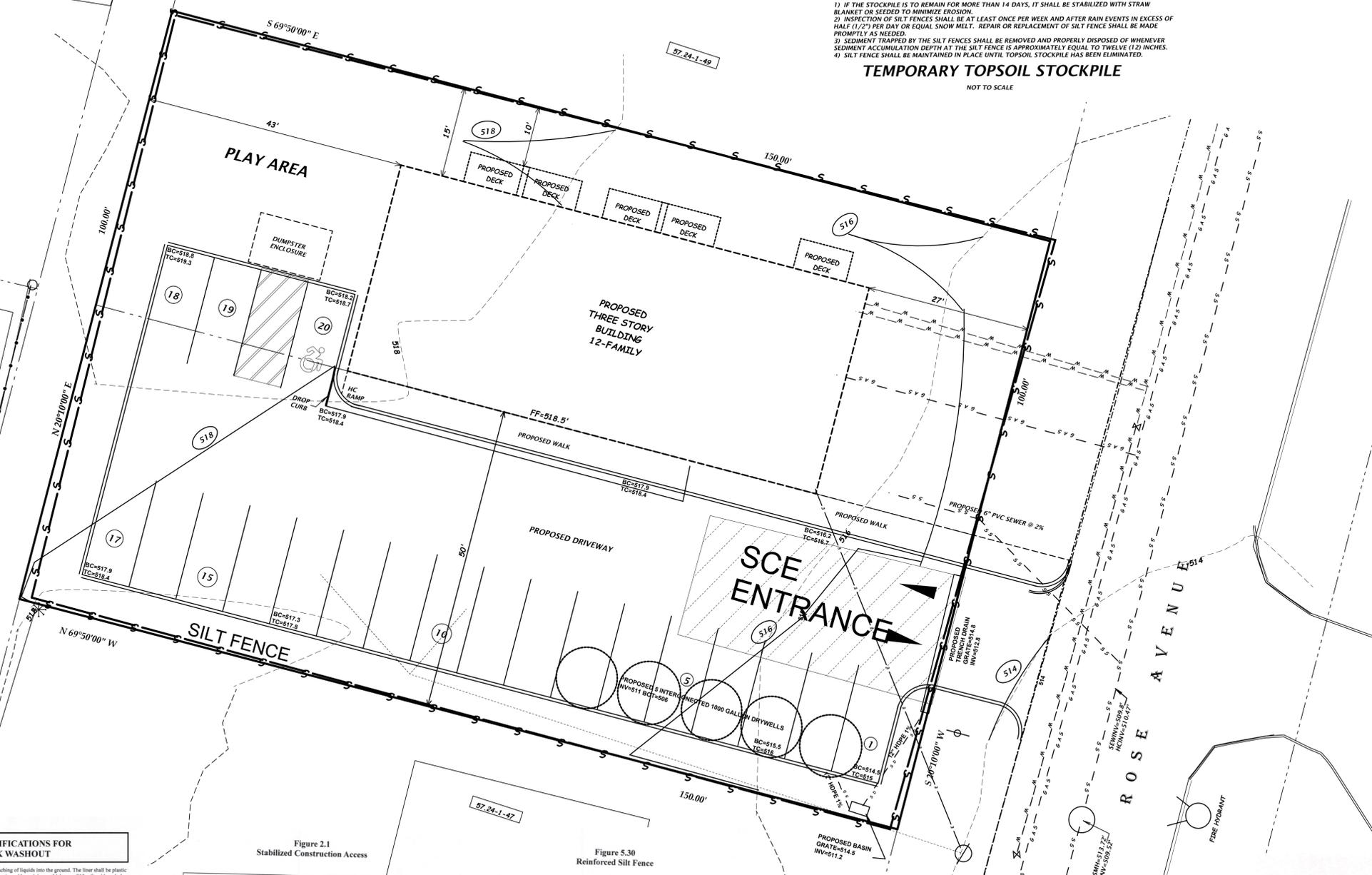
TEMPORARY TOPSOIL STOCKPILE
NOT TO SCALE

- EROSION CONTROL & SEDIMENT NOTES:**
1. A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHALL BE SEEDED DOWN OR MULCHED IMMEDIATELY.
 2. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
 3. DURING CONSTRUCTION, ALL STRUCTURE SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
 4. AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
 5. THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
 6. CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
 7. THE MACADAM SURFACE SHALL BE SWEEP "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURBS.
 8. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE, THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
 9. CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DICED OR OTHERWISE LOOSENEED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.
 10. DRYWELLS AND DRAINAGE SHALL BE INSTALLED PRIOR TO FOUNDATION CONSTRUCTION AND PROTECTED IMMEDIATELY AFTER CONSTRUCTION DURING CONSTRUCTION AFTER A RAINFALL EVENT, THE CONTRACTOR SHALL INSPECT THE DRYWELLS AND CLEAN IF NEEDED.

"STANDARD EROSION CONTROL NOTES

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

- (1) TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- (2) ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
- (3) SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- (4) AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES MUST BE REMOVED.



STANDARD AND SPECIFICATIONS FOR CONCRETE TRUCK WASHOUT



loading of fluids into the ground. The liner shall be plastic sheeting with a minimum thickness of 10 mils with no holes or tears, and anchored beyond the top of the pit with an earthen berm, sand bags, stones, or other structural appearance except at the access point.

If pre-fabricated washouts are used they must ensure the capture and containment of the concrete wash and be sized based on the expected frequency of concrete pours. They shall be sized as noted in the location criteria.

Maintenance
All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip.

Definition & Scope
A temporary excavated or above ground lined contained pit where concrete truck mixers and equipment can be washed after their loads have been discharged, to prevent highly alkaline runoff from entering storm drainage systems or leaching into soil.

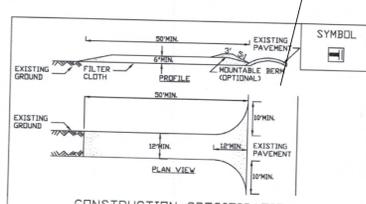
Conditions Where Practice Applies
Washout facilities shall be provided for every project where concrete will be poured or otherwise formed on the site. This facility will receive highly alkaline wash water from the cleaning of chutes, mixers, hoppers, vibrators, placing equipment, trowels, and screeds. Under no circumstances will wash water from these operations be allowed to infiltrate into the soil or enter surface waters.

Design Criteria
Capacity: The washout facility shall be sized to contain solids, wash water, and rainfall and sized to allow for the evaporation of the wash water and rainfall. Wash water shall be estimated at 2 gallons per chute and 50 gallons per hopper of the concrete pump truck and/or discharging drum. The minimum size shall be 8 feet by 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2:1 horizontal to 1 vertical.

Location: Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.

Liner: All washout facilities will be lined to prevent

Figure 2.1
Stabilized Construction Access



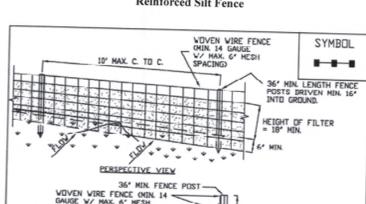
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FEET MINIMUM LENGTH WILL APPLY.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE STOPPED BENEATH THE ENTRANCE. IF PAVING IS IMPRACTICAL, A REINFORCED BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. SEDIMENT COLLIER, HOOPERS, WADERS OR TRACKS ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMISSION.

NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

Figure 5.30
Reinforced Silt Fence



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FILTERS. FILTER CLOTH SHALL BE EITHER FILTER X-1000, STABERLING 10400, OR APPROVED EQUIVALENT.
4. PREPARATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMISSION.

NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

INLET PROTECTION ALL EXISTING BASINS AND PROPOSED BASINS



Eagle Manufacturing T8702XL Stormnest Catch Basin
Insert - Sediment, Rectangle X L Adjustable 25" - 42"



TAX MAP DESIGNATION: 57-24-1-48

EROSION CONTROL PLAN FOR BUKSBAUM

TOWN OF RAMAPO, ROCKLAND COUNTY

SPRING VALLEY, NEW YORK

OCTOBER 22, 2019 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.E.

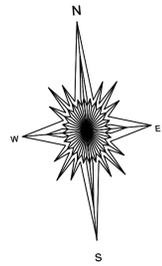
31 ROSMAN ROAD
THIELS, N.Y. 10984
845-429-5290 FAX 429-5974

Anthony R. Celetano LIC#76244

SHEET 3 OF 6

BEING LOTS 55 & 56 ON A CERTAIN MAP ENTITLED "LESPIGNASSE ADDITION" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #449 BOOK #22 PAGE #412 ON 4/17/1895.

NO.	DATE	DESCRIPTION
3	6/22/2020	REVISIONS
2	5/18/2020	REVISIONS



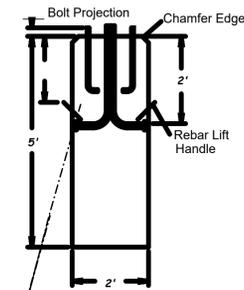
Pole Base

NOTES:

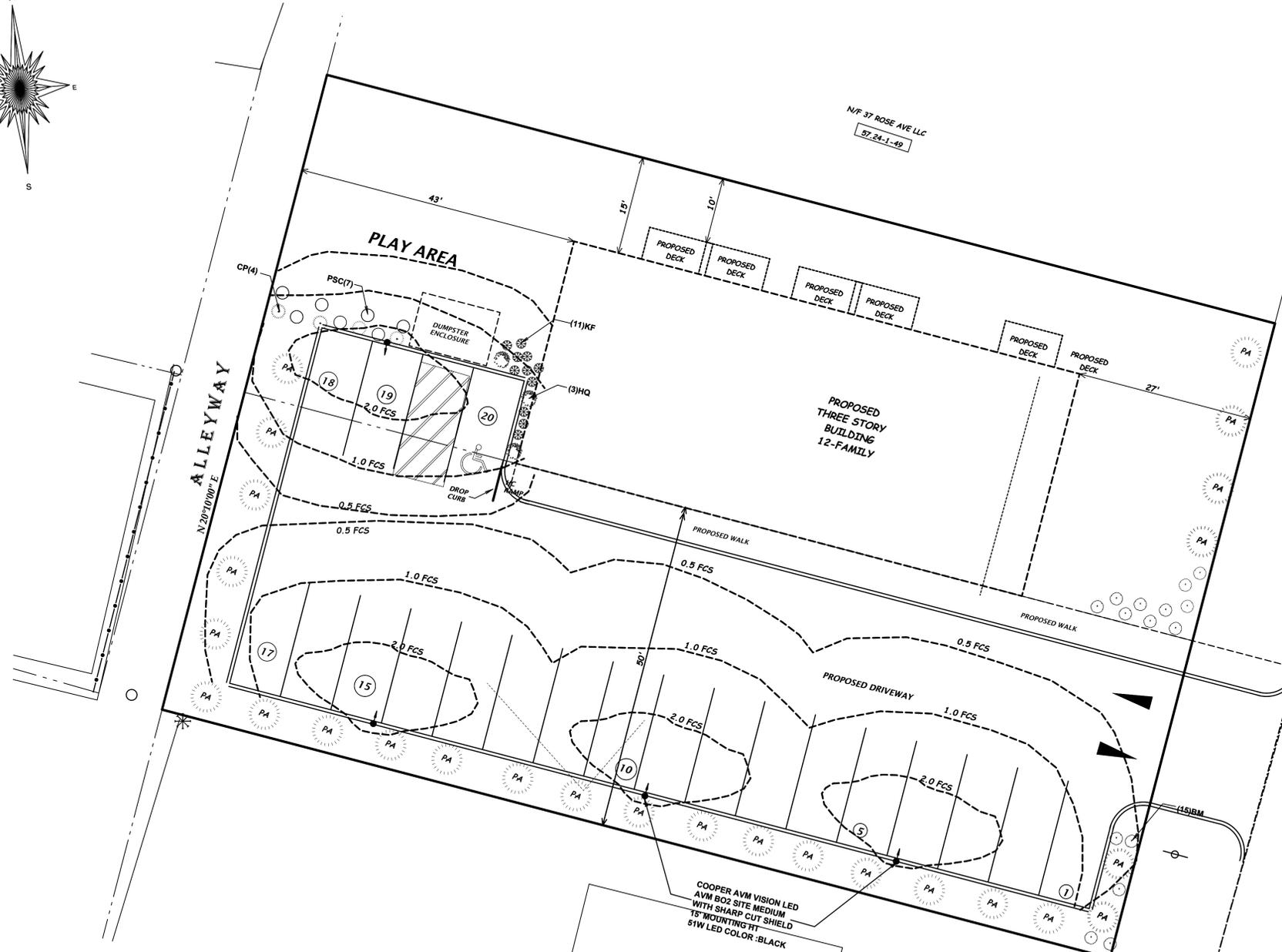
1. ALL EXISTING SOIL FROM PLANTING PITS SHALL BE REMOVED AND PITS SHALL BE BACKFILLED WITH A MIXTURE OF ONE PART PEAT-HUMUS, ONE PART MANURE TO FOUR PARTS TOPSOIL.
2. ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK. ANY LANDSCAPING REQUIRED AS A BUFFER TO SHIELD THE PARKING LOT SHALL REMAIN IN PERPETUITY AS LONG AS THE PARKING LOT EXISTS.
3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD FOR NURSERY STOCK", CURRENT EDITION.
4. ALL PLANT BEDS SHALL CONTAIN 3" MINIMUM SHREDDED BARK MULCH ON LANDSCAPE FILTER FABRIC. HOLES FOR PLANTS SHALL BE 2X DIAMETER OF ROOTBALL AND MINIMUM 6" DEEPER THAN THE DEPTH OF THE BALL.
5. THE TOWN SHALL BE NOTIFIED 48 HOURS PRIOR TO PLANTING FOR AN INSPECTION OF PLANT MATERIALS.
6. ALL AREAS OUTSIDE MULCH BEDS AND SAUCERS SHALL BE SEEDED UNLESS OTHERWISE NOTED.
7. TREES SHOWN TO REMAIN SHALL BE PROTECTED WITH CONSTRUCTION FENCING AT THE DRIP LINE. IF DURING CONSTRUCTION, IT IS DETERMINED THAT A TREE PROPOSED TO REMAIN NEEDS TO BE REMOVED, THE APPLICANT SHALL CONTACT THE BUILDING INSPECTOR OR THE VILLAGE PLANNER TO DETERMINE APPROPRIATE MITIGATION. A SIMILAR SIZE AND TYPE OF TREE WILL BE SELECTED FOR ITS REPLACEMENT.
8. LAWN AREAS PREPARATION PER 1000 SF: (SHOW SPECIFICATIONS)
 90 LBS HAY MULCH
 15 LBS 5-10-10 FERTILIZER, 50% SLOW RELEASE.
 70 LBS GRANULATED LIMESTONE.

SEED MIXTURE: 30% tall fescue
 30% red fescue
 20% blue grass
 20% ryegrass

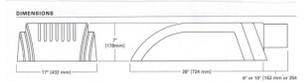
Side View



SPECIFICATIONS
 Concrete Min. Strength: 4,000 psi at 28 day
 Reinforcement: #4 Rebar
 Air Entrainment: 5%



ROSE AVENUE



TAX MAP DESIGNATION: 57.24-1-48

LANDSCAPE & LIGHTING PLAN FOR BUKSBAUM

TOWN OF RAMAPO, ROCKLAND COUNTY
 SPRING VALLEY, NEW YORK

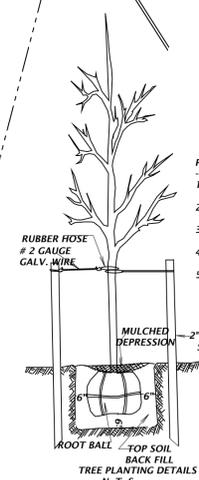
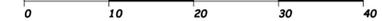
OCTOBER 22, 2019 SCALE: 1" = 10'

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 THIELS, N.Y. 10984
 845 429 5290 FAX 429 5974

Anthony R. Celedano LIC#76244

REV 5/17/20

REV 6/22/20



PLANTING NOTES:

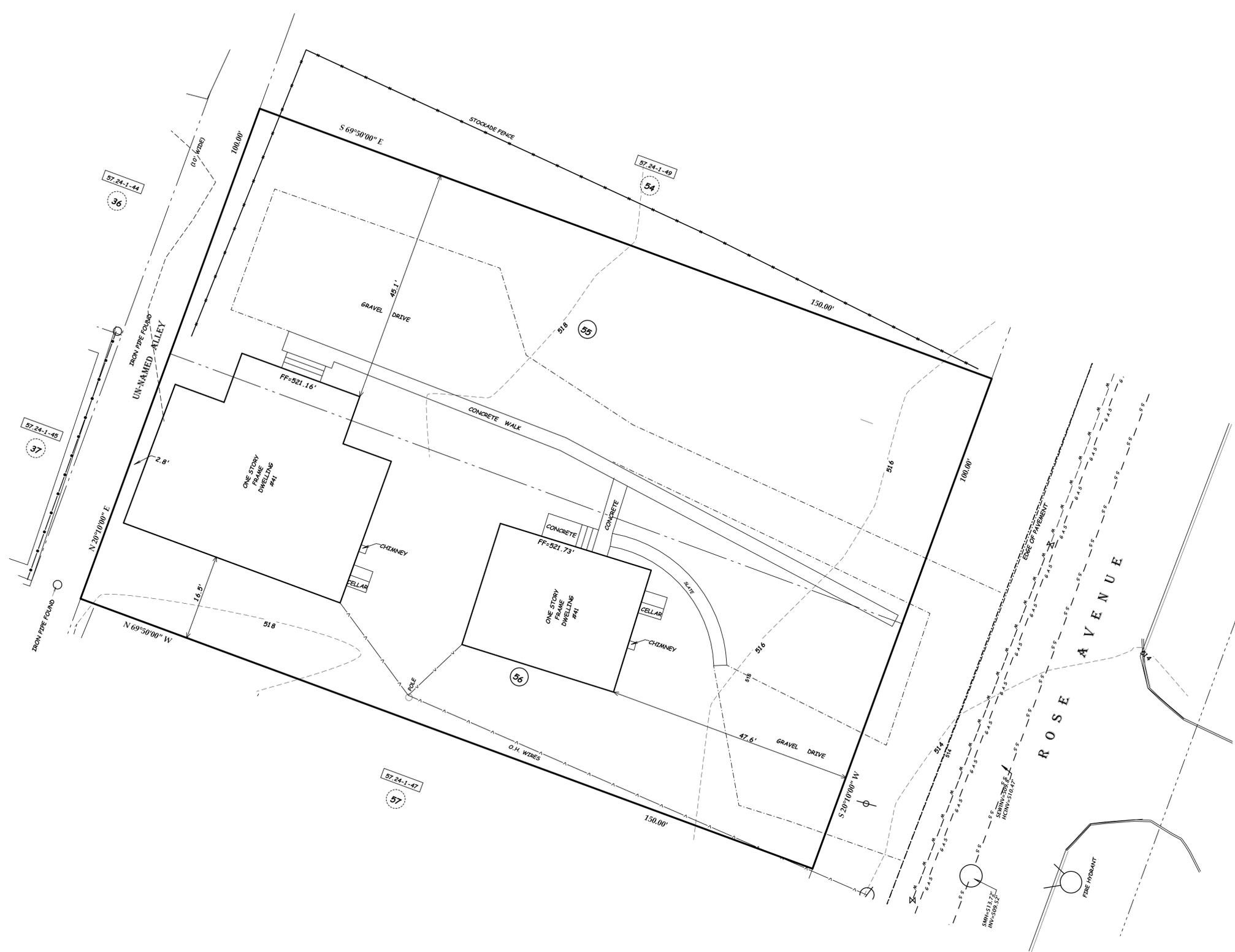
1. EXCAVATE A HOLE THAT IS 12" WIDER & 6" DEEPER THEN THE ROOT BALL
2. REMOVE ANY STRINGS TIED AROUND TRUNK OR STEM, BUT LEAVE BURLAP INTACT.
3. TOPSOIL MIX FOR BACKFILL TO BE 2 PARTS TOP SOIL, 1 PART SAND & ONE PART HUMUS.
4. BUILD DEPRESSION AROUND PLANT & FILL WITH MULCH.
5. STAKE ALL TREES WITH 2" CEDAR STAKES.

- 1 MULCH ALL PLANT BEDS AND TREES WITH 4" DEPTH OF SUGAR CANE OR LICORICE ROOT MULCH
- 2 STAKE ALL TREES WITH 2 CEDAR STAKES, RUBER HOSE AROUND TREE (6"0" ABOVE GRADE) AND TWISTED #10 GAUGE GALVANIZED WIRE.
- 3 PLANT PITS SHALL BE 12" WIDER AND 6" DEEPER THAN THE ROOT BALL. REMOVE ALL EXISTING SOIL AND BACKFILL WITH A MIXTURE OF ONE PART PEAT-HUMUS TO 4 PARTS TOP SOIL. ADD 3 YEAR EEESEY GROW FERTILIZER PACKETS (OR EQUAL)- 1 PER INCH OF TREE CALIPER OR PER 12" HEIGHT OF SHURB.
- 4 GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS
- 5 ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL. NOTIFY 48 HOURS PRIOR TO PLANTING.
- 6 PROVIDE THE TOWN OF RAMAPO BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL
- 7 ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN' STANDARDS.

1. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
2. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.

PLANT SCHEDULE			
TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
PA	19	NORWAY SPRUCE / PICEA ABIES	B & B
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT
BM	15	WINTER GEM BOXWOOD / BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	5 GAL
CP	7	GOLDEN MOPPS SAWARA FALSE CYPRESS / CHAMAECYPARIS PISIFERA 'GOLDEN MOPPS'	24" HT 3 GAL
HQ	3	OAKLEAF HYDRANGEA / HYDRANGEA QUERCIFOLIA	30 - 36" 5 GAL
PSC	7	PURPLE LEAF SAND CHERRY / PRUNUS X CISTENA	30 - 36" 5 GAL
GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CONT
KF	11	FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	2 GAL

BEING LOTS 55 & 56 ON A CERTAIN MAP ENTITLED "LES PINASSE ADDITION" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #449 BOOK #22 PAGE #412 ON 4/17/1895.



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 "THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSES AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR, EXCEEDS THE SCOPE OF THE ENGAGEMENT."
 "THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE."
 "EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN."

LOT AREA=15,000 SQUARE FEET
 BEING LOTS 55 & 56 ON A CERTAIN MAP ENTITLED "LESPIGNASSE ADDITION"
 FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #449 BOOK #22 PAGE #412 ON 4/17/1895.

TAX MAP DESIGNATION: 57-24-1-48

SURVEY FOR
BUKSBAUM

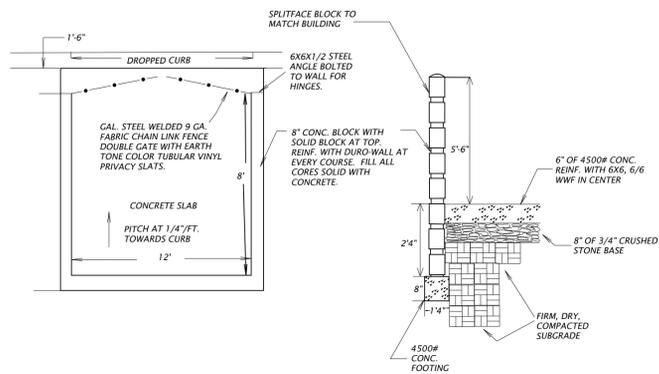
TOWN OF RAMAPO, ROCKLAND COUNTY
 REV 6/22/2020
 SPRING VALLEY, NEW YORK

OCTOBER 22, 2019 SCALE: 1" = 10'

0 10 20 30

ANTHONY R. CELENTANO P.L.S.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

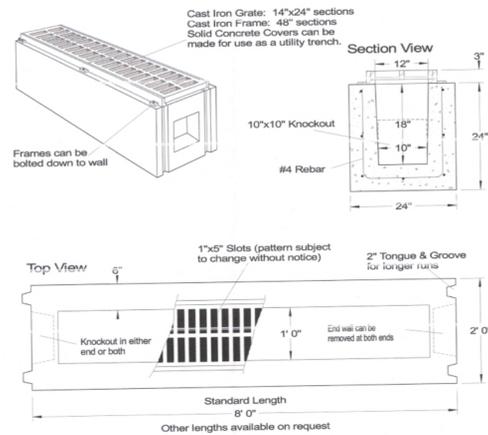
Anthony R. Celentano LIC#50633



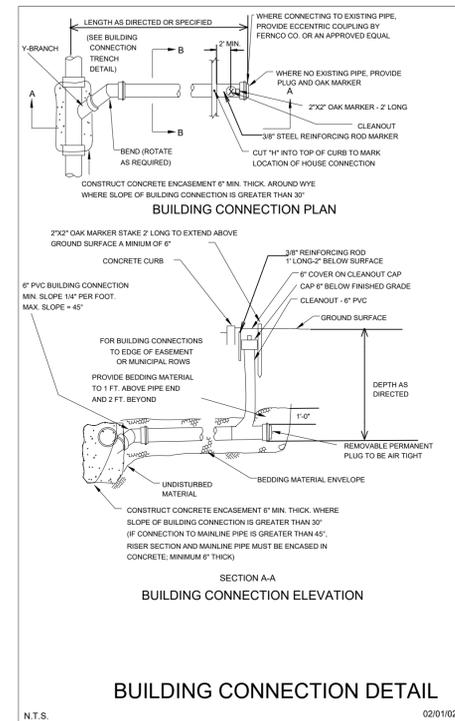
- NOTES
1. ALL GATE MATERIALS SHALL BE GALVANIZED STEEL.
 2. CONCRETE BLOCK SHALL BE TEXTURED AND COLORED TO MATCH BUILDING.
 3. SIZE MAY BE VARIED TO SUIT SIZE OF DUMPSTER.
 4. 2"x6" BUMPER ADDED ALONG REAR OF DUMPSTER TO PREVENT CHIPPING OUT OF INTERIOR WALL.

**GARBAGE DUMPSTER
DETAIL**

N.T.S.

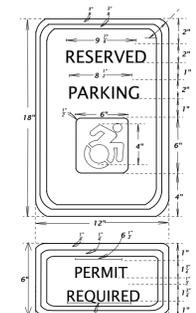


SPECIFICATIONS	
Concrete Min. Strength: 4,000 psi at 28 days	PRECAST TRENCH DRAIN HEAVY DUTY MODEL TD-HD Woodward's Concrete Products, Inc. 629 Lybott Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050 Page 31 12/31/09
Reinforcement: #4 Rebar / ASTM A615	
Air Entrainment: 5%	
Weight = 3,000 lbs	
Load Rating: H20 / ASTM C857	

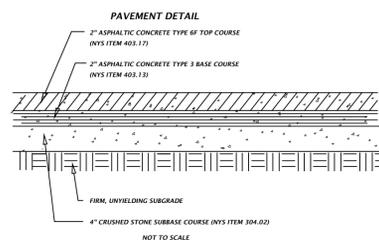


BUILDING CONNECTION DETAIL

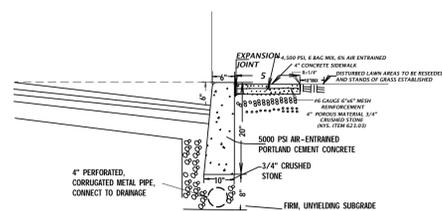
N.T.S. 02/01/02



LETTERING AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

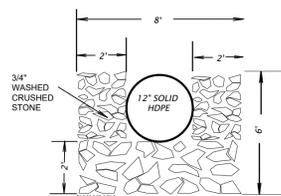


NOT TO SCALE



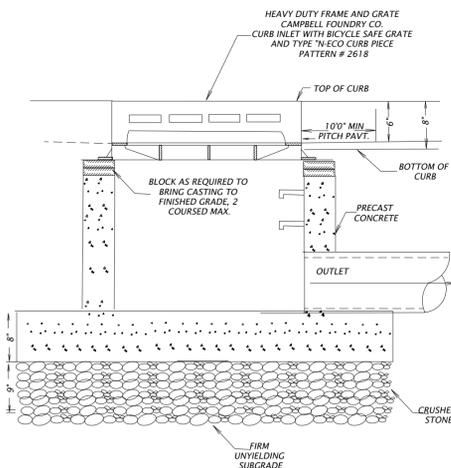
CONCRETE CURB AND SIDEWALK DETAIL

NOT TO SCALE



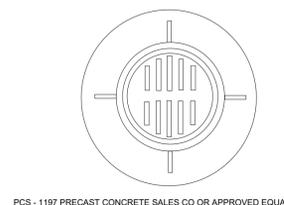
TRENCH DETAIL

FIRM UNYIELDING SUBGRADE
BEDDING ALL PIPES

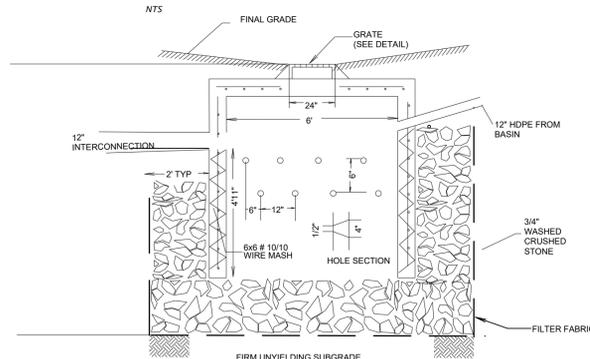


**PRECAST
CATCH BASIN
DETAILS**

NOT TO SCALE

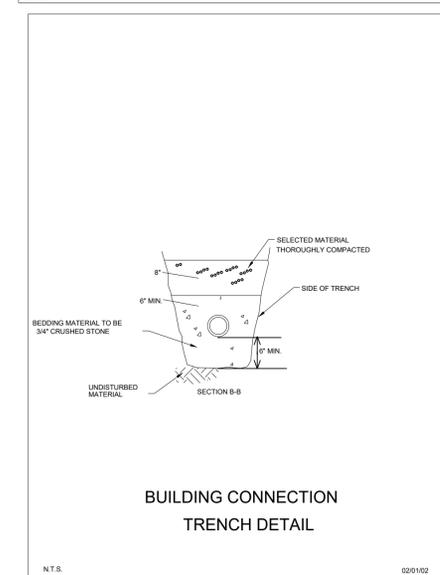


DRYWELL GRATE DETAIL



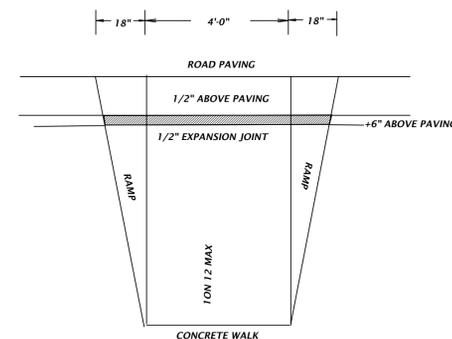
DRYWELL DETAIL
(WOODARD'S PRODUCTS, INC. DWA-6 OR APPROVED EQUAL
CAPACITY 1,000 GALLONS 14,500 PSI CONCRETE)

N.T.S.



**BUILDING CONNECTION
TRENCH DETAIL**

N.T.S. 02/01/02



DROP CURB DETAIL

N.T.S.



TAX MAP DESIGNATION: 57.24-1-48

**DETAIL SHEET
FOR
BUKSBAUM**

TOWN OF RAMAPO, ROCKLAND COUNTY
SPRING VALLEY, NEW YORK
OCTOBER 22, 2019

ANTHONY R. CELENTANO P.E.

31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974

Anthony R. Celetano LIC#76244

NO.	DATE	DESCRIPTION
3	6/22/2020	REVISIONS
2	5/18/2020	REVISIONS

Spring Valley Fire Department, Inc.



P.O. Box 637

Spring Valley, New York 10977

Phone/Fax 845-371-4811

Chief

Raymond Canario

Wardens

Raymond Guarnuccio

Lawrence C Bolson

Robert Poole Sr.

Willer Franck

John Conjura Jr.

Doug Schoonover

Deputy Chief

Ken Conjura

Secretary

Edmund Conjura

Assistant Secretary

Pam Bolson

Treasurer

Robert J. Schultz

Assistant Treasurer

Christopher Nau

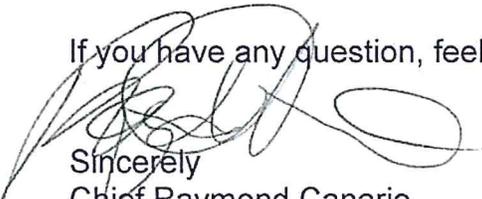
Battalion Chief

Willins Celestin

To Planning Board:
Re: 26 N. Myrtle Ave
6/19/2020

I have reviewed the site plan 26 N. Myrtle Ave dated 2/2/2016 Rev on 5/17/2020. Applicant is providing 26Ft Apparatus Access as well as 120' Ft Hammerhead turn. I am requesting that the curb next to parking spot label 23 be adjusted for rear axle truck Mobility.

If you have any question, feel free to contact me.



Sincerely

Chief Raymond Canario

845-587-3953

Chiefsvfd_rhl@villagespringvalley.org