

29-35 SUMMIT AVENUE

VILLAGE OF SPRING VALLEY / TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK



ROCKLAND COUNTY GIS TAX MAP
N.T.S.

NOTES:

- THESE ARE TAX LOTS 57.53-1-5, 57.53-1-6.1, 57.53-1-6.2, 57.53-1-6.3 and 57.53-1-7 AS SHOWN ON THE VILLAGE OF SPRING VALLEY TAX MAP.
- AREA OF PARCELS:..... 2.05 ACRES (89,316 SF)
- ZONE:.....R-4
- PROPOSED USE:.....MULTIFAMILY DWELLING (SEE NOTE #14 BELOW)
- FIRE DISTRICT:.....SPRING VALLEY FP002
- SCHOOL DISTRICT:.....EAST RAMAPO CENTRAL
- WATER DISTRICT:.....WDO01
- WATER SUPPLY BY:.....VEOLIA WATER NEW YORK
- SEWER DISTRICT:.....RAMAPO SEWER
- DATUM:.....NAVD 88
- ALL UTILITIES SHALL BE UNDERGROUND. ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN TWO (2) INCH DIAMETER.
- THIS PLAN IS BASED ON BOUNDARY AND TOPOGRAPHICAL SURVEY PREPARED BY ANTHONY R. CELENTANO, P.L.S. DATED NOVEMBER 9, 2020 AND UPDATED AUGUST 1, 2025.
- ALL BUILDINGS TO BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MINIMUM SLOPE OF 2%.
- AS PER §A-4-A-(9) OF THE ZONING CODE, THE MULTIFAMILY USE IS PERMITTED BY RIGHT IN THE R-4 ZONING DISTRICT.
- AS PER §255-22-C OF THE ZONING CODE, AN OPEN DECK MAY PROJECT INTO A YARD TO A POINT NO CLOSER THAN 5' TO A LOT LINE.
- EXCESS SNOW WILL BE TRUCKED OFF SITE AS MAY BE REQUIRED.

DENSITY CALCULATION

§A-4-F-(5): THE DENSITY RATIO IN MULTIFAMILY DWELLING STRUCTURES CONTAINING SIX STORIES OR LESS SHALL BE A MAXIMUM OF 30 DWELLING UNITS PER ACRE. ON LOTS CONSISTING OF MORE THAN ONE MULTIFAMILY DWELLING BUILDING, THE MAXIMUM DENSITY REQUIREMENTS HEREIN SET FORTH SHALL PREVAIL ON A PRO RATA BASIS.

MAXIMUM UNITS ALLOWED = 30 UNITS X 2.05 ACRES = 61 UNITS
UNITS PROVIDED = 66 UNITS*
*VARIANCE REQUIRED

FLOOR AREA RATIO CALCULATION

NOTE: EACH BUILDING INCLUDES (4) FLOORS AND A BASEMENT

PROPOSED BUILDINGS #1 - #7 = 131,250 SF
PROPOSED BUILDING #8 = 29,712 SF
TOTAL FLOOR AREA = 160,962 SF

F.A.R. CALCULATION
LOT AREA = 89,316 SF
TOTAL FLOOR AREA = 160,962 SF

F.A.R. = 160,962 SF / 89,316 SF = 1.81*

*VARIANCE REQUIRED

NOTE: ALL FLOOR AREA MEASUREMENTS AS PROVIDED BY ARCHITECT

REQUIRED PARKING CALCULATION

§A-4-D-(1): DWELLINGS UNITS: AT LEAST TWO PARKING SPACES FOR EACH DWELLING UNIT, PLUS TWO SPACES FOR ANY HOME OCCUPATION OR PROFESSIONAL OFFICE.

PARKING REQUIRED = 66 UNITS X 2 PARKING SPACES PER UNIT = 132 SPACES

PARKING PROVIDED = 80 SPACES*
*VARIANCE REQUIRED

PRINCIPAL BUILDING SEPARATION

AS PER SECTION 255-22-0.(1), THE DISTANCE BETWEEN TWO PRINCIPAL BUILDINGS ON THE SAME LOT SHALL BE NO LESS THAN THE HEIGHT OF THE TALLER BUILDING.

BUILDING HEIGHT (BLDG #1 - #7) = 45 FEET
DISTANCE BETWEEN BUILDINGS = 20 FEET*

*VARIANCE REQUIRED



TABLE OF BULK REQUIREMENTS:

ZONE: R-4 GROUP: E USE: MULTI-FAMILY DWELLINGS	REQUIRED	PROPOSED	NOTES
LOT AREA (SF)	20,000	89,316	
LOT WIDTH (FEET)	150	300	MEASURED AT REQ'D. FRONT YARD AS OFFSET FROM EASTERLY PROPERTY LINE
FRONT YARD (FEET)	30	21*	SEE SE CORNER OF BLDG #7
SIDE YARD (FEET)	20	0*	SEE SW CORNER OF BLDG #8
REAR YARD (FEET)	50	13*	SEE NW CORNER OF BLDG #8
TOTAL SIDE YARDS (FEET)	40	10*	
MAXIMUM HEIGHT (FEET)	80	45	
MAXIMUM HEIGHT (STORIES)	8 STORIES	4 STORIES	
FLOOR AREA RATIO (FAR)	1.0	1.81*	

*VARIANCE REQUIRED

SITE LAYOUT PREPARED BY:

MOSHE GOLDKLANG & ASSOCIATES INC.

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
SETBACK LINE	SETBACK LINE
YARD LINE	YARD LINE
ADJACENT PROPERTY	ADJACENT PROPERTY
CENTERLINE	CENTERLINE
STREAM/CREEK	STREAM/CREEK
WETLANDS	WETLANDS
BUILDING/STRUCTURE	BUILDING/STRUCTURE
CONCRETE CURB	CONCRETE CURB
MOUNTABLE CURB	MOUNTABLE CURB
CONCRETE WALK	CONCRETE WALK
ACCESSIBLE RAMP	ACCESSIBLE RAMP
PAVER WALK	PAVER WALK
CHAIN LINK FENCE	CHAIN LINK FENCE
STOCKADE FENCE	STOCKADE FENCE
WOOD FENCE	WOOD FENCE
GUIDERAIL	GUIDERAIL
TREE/BUSHES	TREE/BUSHES
TREELINE	TREELINE
CONCRETE WALL	CONCRETE WALL
STONE WALL	STONE WALL
SIGN	SIGN
UTILITY POLE	UTILITY POLE
LIGHT FIXTURE	LIGHT FIXTURE
CONTOUR MAJOR	CONTOUR MAJOR
CONTOUR MINOR	CONTOUR MINOR
CONTOUR SUBMINOR	CONTOUR SUBMINOR
SPOT GRADE	SPOT GRADE
CURB INLET BASIN	CURB INLET BASIN
FIELD INLET BASIN	FIELD INLET BASIN
OUTLET STRUCTURE	OUTLET STRUCTURE
DRAINAGE MANHOLE	DRAINAGE MANHOLE
HEADWALL	HEADWALL
FLARED END	FLARED END
DRAINAGE PIPE	DRAINAGE PIPE
ROOF DRAIN	ROOF DRAIN
UNDER DRAIN	UNDER DRAIN
FOOTING DRAIN	FOOTING DRAIN
SANITARY MANHOLE	SANITARY MANHOLE
SAN. CLEAN OUT	SAN. CLEAN OUT
SAN. CONNECTION	SAN. CONNECTION
SAN. FORCE MAIN	SAN. FORCE MAIN
FIRE HYDRANT	FIRE HYDRANT
SIAMASE CONNECTION	SIAMASE CONNECTION
WATER VALVE	WATER VALVE
WATER BLOW OFF	WATER BLOW OFF
WATER CURB STOP	WATER CURB STOP
METER PIT	METER PIT
WATER LINE	WATER LINE
WATER SERVICE	WATER SERVICE
GAS VALVE	GAS VALVE
GAS MAIN	GAS MAIN
GAS SERVICE	GAS SERVICE
TELEPHONE, ELECTRIC GAS AND CABLE	TELEPHONE, ELECTRIC GAS AND CABLE
OVERHEAD UTILITIES	OVERHEAD UTILITIES
ELECTRIC LINE	ELECTRIC LINE
ELECTRIC MANHOLE	ELECTRIC MANHOLE
TELEPHONE LINE	TELEPHONE LINE
TELEPHONE MANHOLE	TELEPHONE MANHOLE
UTILITY MANHOLE	UTILITY MANHOLE

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NEW JERSEY OFFICE:
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PROJECT:
29-35 SUMMIT AVENUE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK



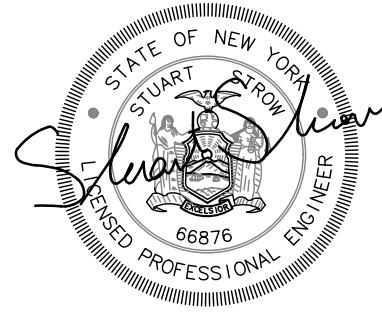
PROJECT LOCATION

APPLICANT:
ACHIM REALTY LLC
58 NORTH COLE AVENUE
SPRING VALLEY, NY 10977
TEL: 845.323.8570

SURVEYOR:
ANTHONY R. CELENTANO, P.L.S.
31 ROSMAN ROAD
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TEL: 845.429.5290

REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	SM	6-15-2026

SEAL:



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PROJECT:
29-35 SUMMIT AVENUE

SCALE: 1" = 20'
0 20' 40'

SHEET TITLE:
LAYOUT PLAN

DRAWN BY: MS CHECKED BY: SS
DATE: 2.5.26 PROJECT NO: 2528
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29-35 SUMMIT
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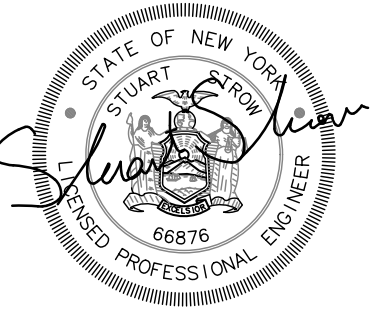
VILLAGE OF SPRING VALLEY
OCKLAND COUNTY, NEW YORK



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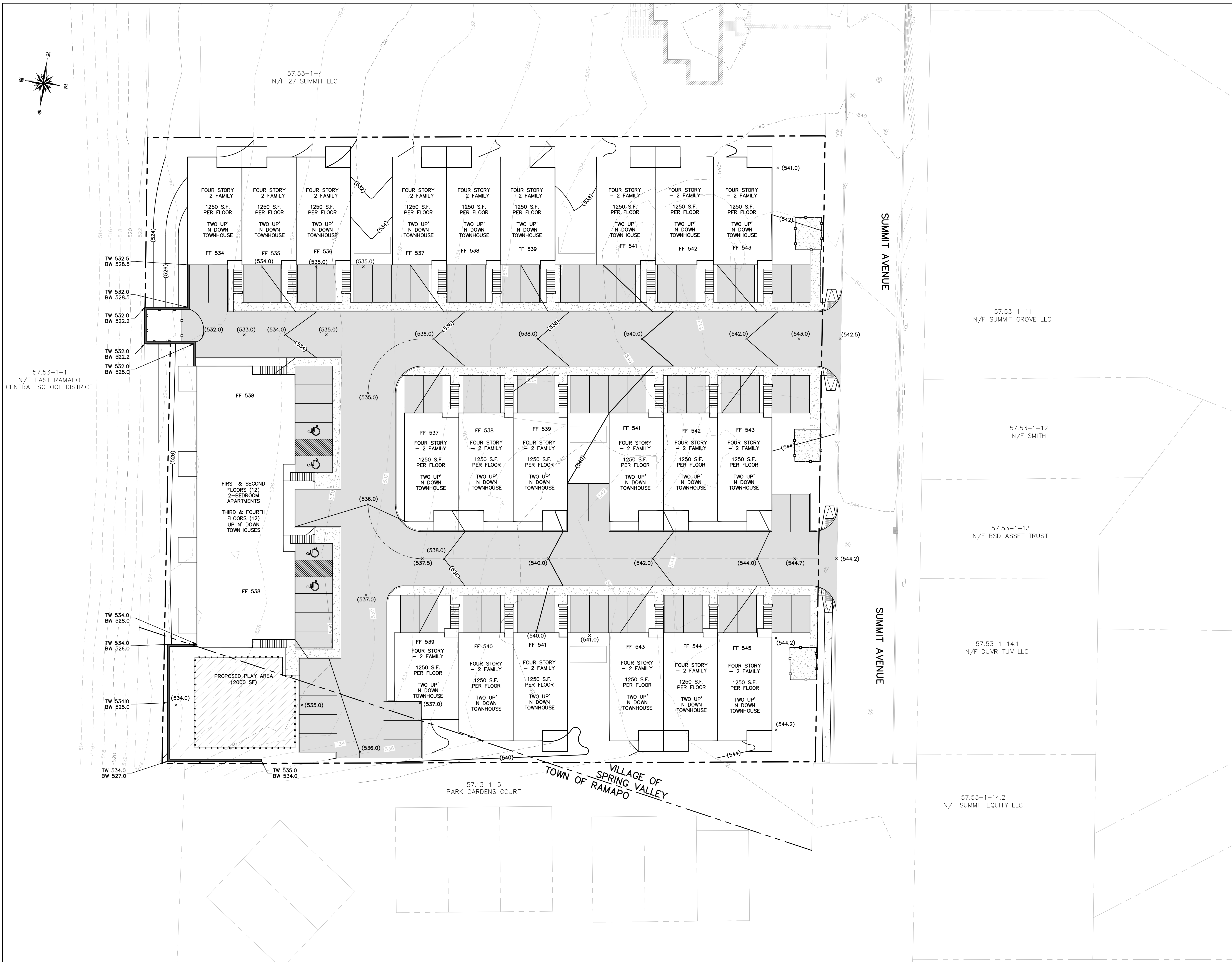
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SEAL:

29-35 SUMMIT
AVENUE

20'

GRADING PLAN

2

CONSTRUCTION NOTES:

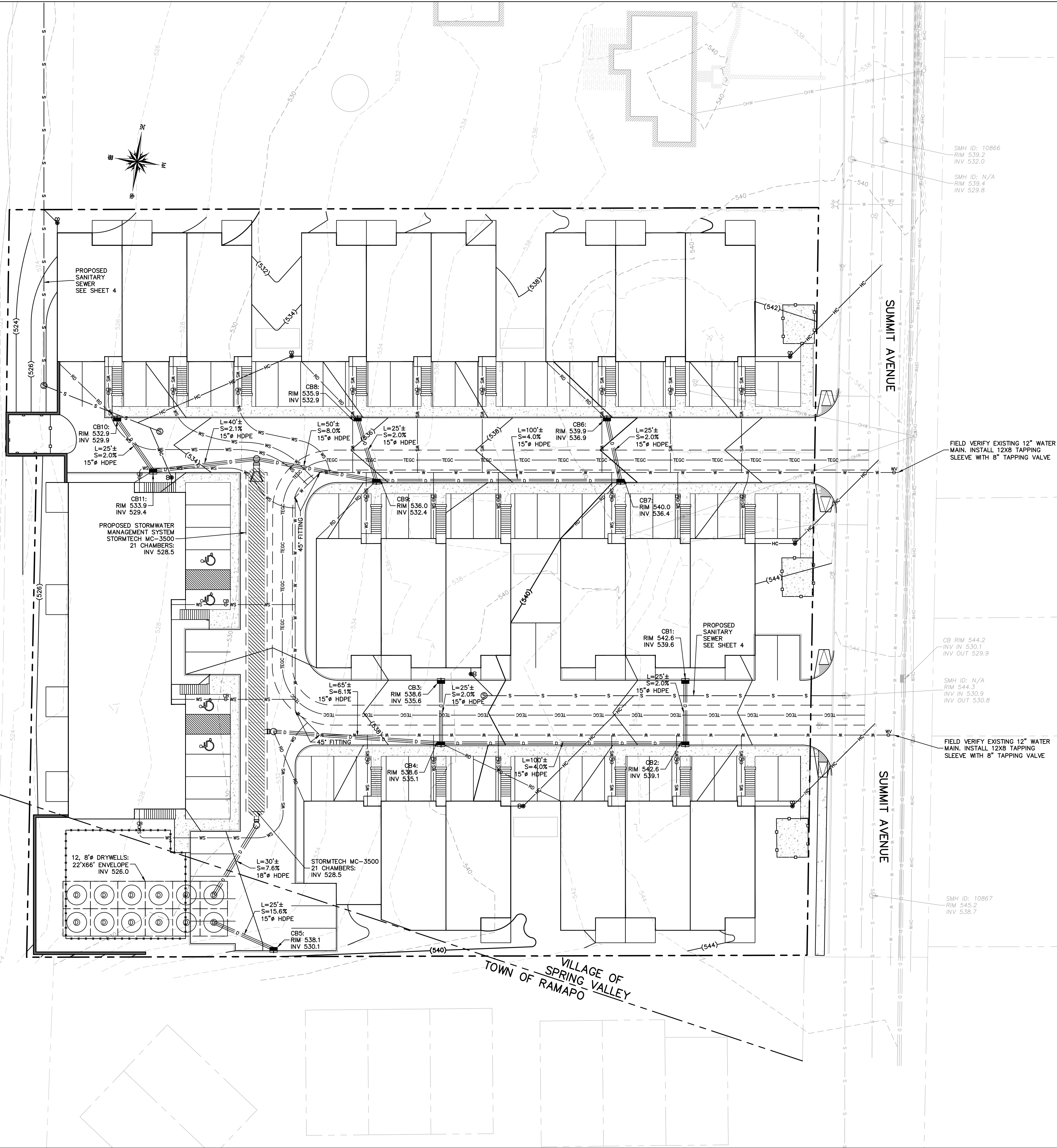
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE OWNER AND ENGINEER OF ANY UNANTICIPATED UTILITIES ENCOUNTERED AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION, PROTECTION AND/OR TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED WITHIN THE WORK AREA.
- THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH AFFECTED UTILITY COMPANY, SHALL APPLY FOR AND OBTAIN THE NECESSARY PERMITS AND APPROVALS, AND SHALL INITIATE AND COORDINATE ALL INSPECTIONS NECESSARY FOR FINAL APPROVAL AND ACCEPTANCE BY THE SUBJECT UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS SERVICE OF ALL EXISTING UTILITIES WITHIN THE WORK AREA AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY REPAIR, RELOCATION OR REMOVAL OF EXISTING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY AND PROVISIONS MUST BE PROVIDED FOR TEMPORARY SERVICE OF ANY RESPECTIVE UTILITY SERVICE AFFECTED BY THE CONSTRUCTION IN THE EVENT OF ANY DISRUPTION TO THE EXISTING UTILITY. SHUT-DOWNS SHALL BE AT THE DISCRETION OF THE RESPECTIVE UTILITY COMPANIES AND COORDINATED WITH THE MUNICIPALITY AND THE ENGINEER FOR PUBLIC NOTICE IF NECESSARY. TEMPORARY SERVICE SHALL BE PROVIDED AND MAINTAINED AT NO ADDITIONAL COST.
- ALL STORM DRAINAGE PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR UNLESS OTHERWISE SPECIFIED.
- ALL ROOF LEADERS ARE TO BE CONNECTED TO THE ON-SITE STORMWATER SYSTEM. ROOF DOWNSPOUTS AND RECEIVING LEADER SIZES SHALL BE SPECIFIED BY THE BUILDING MECHANICAL ENGINEER. FINAL LOCATIONS OF ROOF LEADERS ARE TO BE FINALIZED BY CONTRACTOR. ROOF LEADER PIPES SHALL BE SDR-35 PVC.
- WATER SERVICE LINE AND SEWER CONNECTION SHALL BE PLACED IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL DISTANCE OF TEN FEET BETWEEN THEM.
- SANITARY SEWER PIPE SHALL BE SDR-35 PVC.
- WATER MAIN PIPE, VALVES, FITTINGS, THRUST RESTRAINT, TAPPING SLEEVES, HYDRANTS, ETC SHALL CONFORM WITH VEOLIA WATER NEW YORK STANDARD SPECIFICATIONS (CURRENT EDITION).
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED. ELEVATIONS AND DIMENSIONS GIVEN FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS WHICH ARE TO REMAIN IN PLACE WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND PROPERLY DISPOSED OF AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- WHENEVER ITEMS IN THE CONTRACT REQUIRE MATERIALS TO BE REMOVED AND DISPOSED OF, THE COST OF SUPPLYING A DISPOSAL AREA AND TRANSPORTATION TO THAT AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY DAMAGED CURBS OR SIDEWALKS ALONG THE FRONTAGE SHALL BE REPAIRED OR REPLACED.
- FOOTING DRAINS MUST BE PROVIDED FOR ALL STRUCTURES. IF FOOTING DRAINS CANNOT DISCHARGE TO DAYLIGHT BY GRAVITY, A PUMP SYSTEM TO BE DESIGNED BY THE MECHANICAL ENGINEER MUST BE PROVIDED.

SANITARY SEWER NOTES:

- ALL SANITARY SEWER CONSTRUCTION TO MEET CURRENT STANDARDS. IF STANDARDS CONTRADICT THE STRICTER SHALL APPLY.
- SANITARY SEWER PERMITS MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ROCKLAND COUNTY SEWER DISTRICT No.1 REQUIRES SANITARY SEWER CONSTRUCTION TO CONFORM TO DISTRICT STANDARDS. IF STANDARDS CONTRADICT THE STRICTER SHALL APPLY.
- IF LOWEST FLOOR TO BE SEWERED IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION, AN EXTERIOR CHECK VALVE WILL BE INSTALLED.
- ANY EXISTING SANITARY SEWER CONNECTION TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATERTIGHT PLUG OR CAP ENCASED IN CONCRETE.
- ALL STRUCTURES SHALL BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MINIMUM SLOPE OF 2%.
- SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM SEPARATION OF 10 FEET.

MOSQUITO CONTROL NOTES

- ALL STORMWATER FACILITIES ON THIS SITE HAVE BEEN DESIGNED TO REMOVE ALL STANDING WATER WITHIN FIVE DAYS OF A RAIN EVENT.
- ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER SIGNIFICANT RAINFALLS AND AT LEAST ONCE PER MONTH.
- IF, UPON INSPECTION, WATER REMAINS IN THE STORMWATER FACILITIES LONGER THAN FIVE DAYS AFTER A RAIN EVENT, ONE OF THE FOLLOWING MEASURES WILL BE TAKEN:
A) THE WATER WILL BE MECHANICALLY REMOVED (I.E. BY VACUUM); OR
B) THE WATER WILL BE MECHANICALLY AGITATED TO PREVENT MOSQUITO BREEDING; OR
C) THE WATER WILL BE TREATED WITH MOSQUITO LARVICIDE IN ACCORDANCE WITH NYSDEC AND ROCKLAND COUNTY HEALTH DEPARTMENT GUIDELINES, REGULATIONS AND PROCEDURES.
- MOSQUITO BREEDING SUPPRESSION MEASURES MUST BE IMPLEMENTED BETWEEN APRIL 1 AND OCTOBER 31.
- LARVICIDE TO BE APPLIED SHALL BE "MOSQUITO DUNKS" AS MANUFACTURED BY SUMMIT CHEMICAL CO., BALTIMORE, MD. OR ROCKLAND COUNTY DEPARTMENT OF HEALTH APPROVED EQUAL. LARVICIDE SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THE LONG TERM MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.





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PROJECT:

29-35 SUMMIT AVENUE

VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION

APPLICANT:

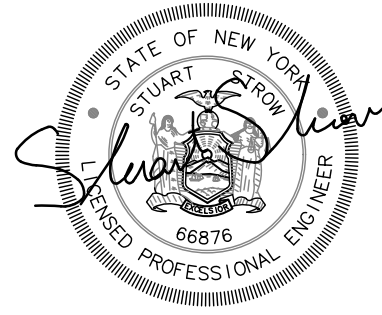
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PROJECT:

29-35 SUMMIT AVENUE

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0 20' 40'

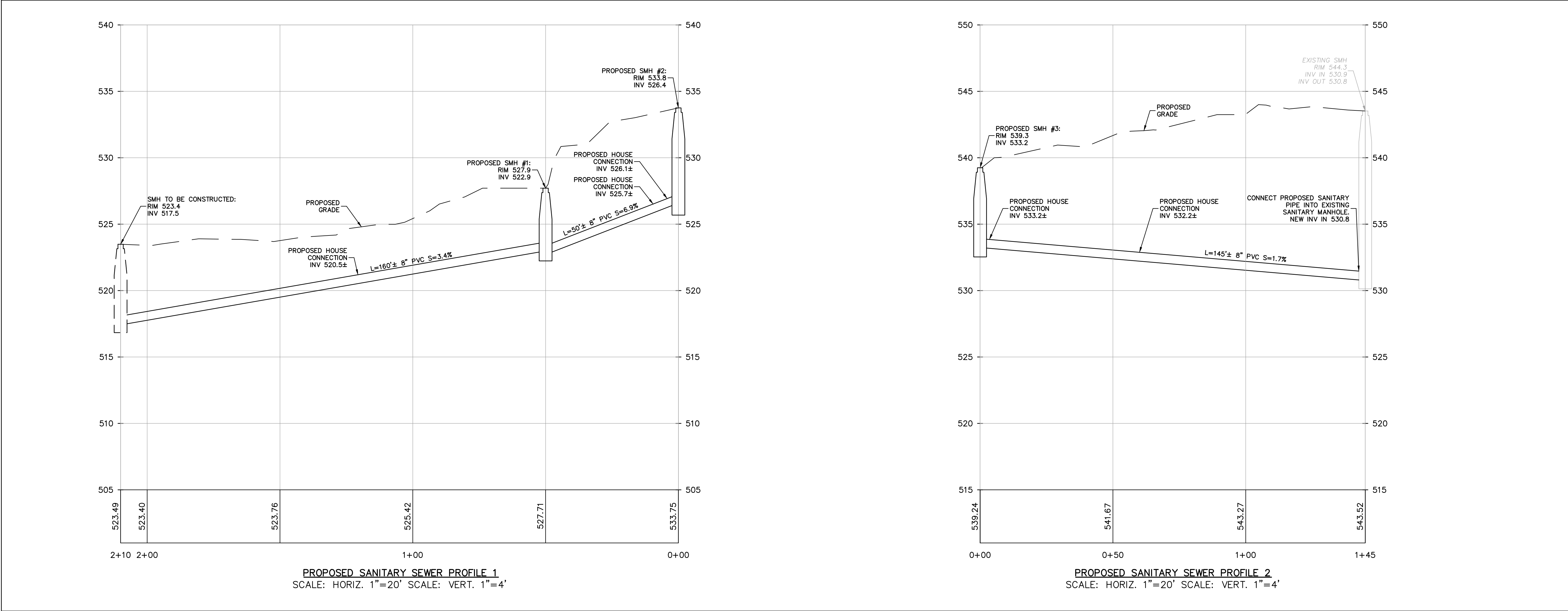
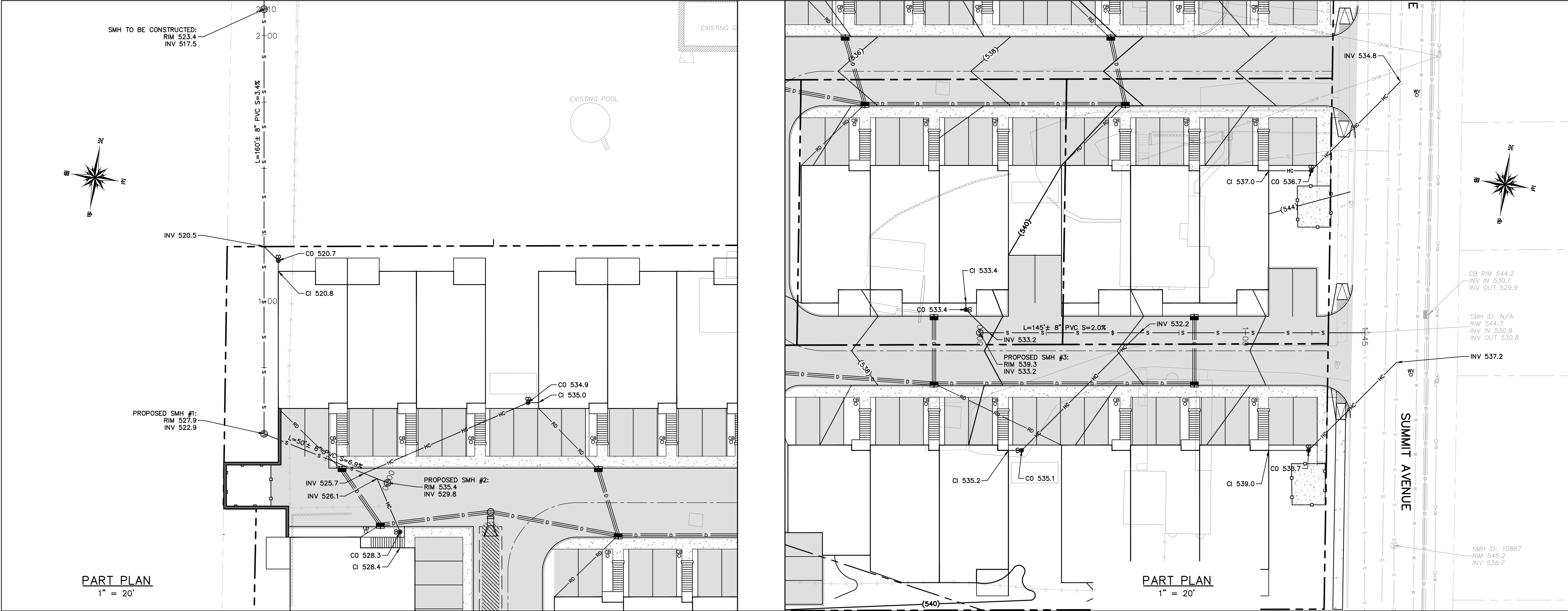
SHEET TITLE:

UTILITY PLAN

DRAWN BY: MS CHECKED BY: SS

DATE: 2.5.26 PROJECT NO: 2528

SHEET NUMBER:



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PROJECT:

29-35 SUMMIT AVENUE

SCALE: 1" = 20'

0 20' 40'

SHEET TITLE:

**PROPOSED
SEWER MAIN
PLAN AND PROFILE**

DRAWN BY: MS CHECKED BY: SS

DATE: 2.5.26 PROJECT NO: 2528

SHEET NUMBER:



PROJECT:

29-35 SUMMIT AVENUE

VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION 

APPLICANT:

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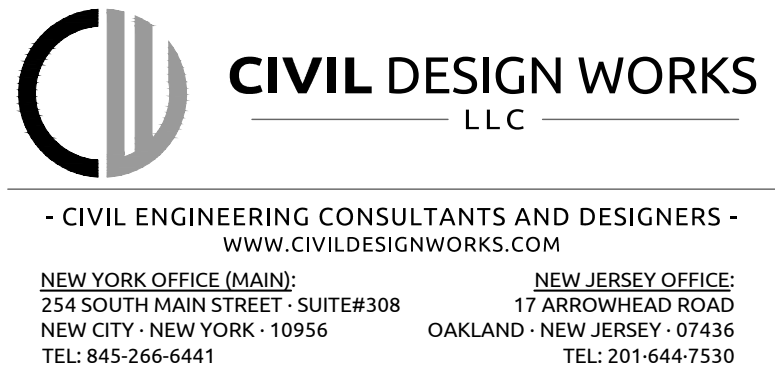
EXISTING CONDITIONS

DRAWN BY:	MS	CHECKED BY:	SS
DATE:	2.5.26	PROJECT NO:	2528
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1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PROPER STABILIZATION IS ESTABLISHED.
2. THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON A REGULAR BASIS INCLUDING AFTER EVERY STORM EVENT.
4. STOCKPILES ARE NOT TO BE LOCATED WITHIN A FLOODPLAIN, BUFFER, ON A SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
5. A CRUSHED STONE, VEHICLE WHEEL-CLASSED BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECT ANY PAVED ROADWAY IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
6. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHT-OF-WAY, SHALL BE REMOVED IMMEDIATELY.
7. DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
8. TREES TO REMAIN AFTER CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
9. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEIN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEIN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE CONSTRUCTION PERIOD. THE COLLECTION OF SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
10. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNFINISHED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE. A TEMPORARY SEEDING AND MULCHING SCHEDULE SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
11. SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
12. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SITUATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
13. ALL AREAS DISTURBED BY ON-SITE GRADING, THAT WILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SCHEDULES OR EQUIVALENTS.

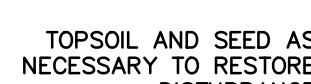
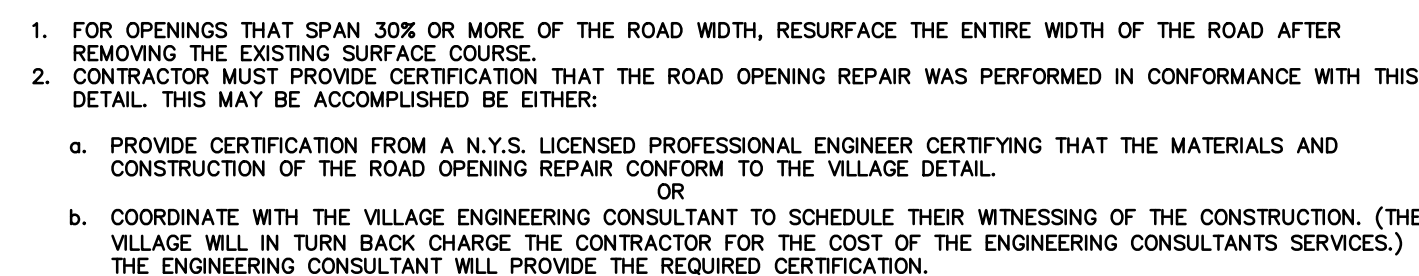
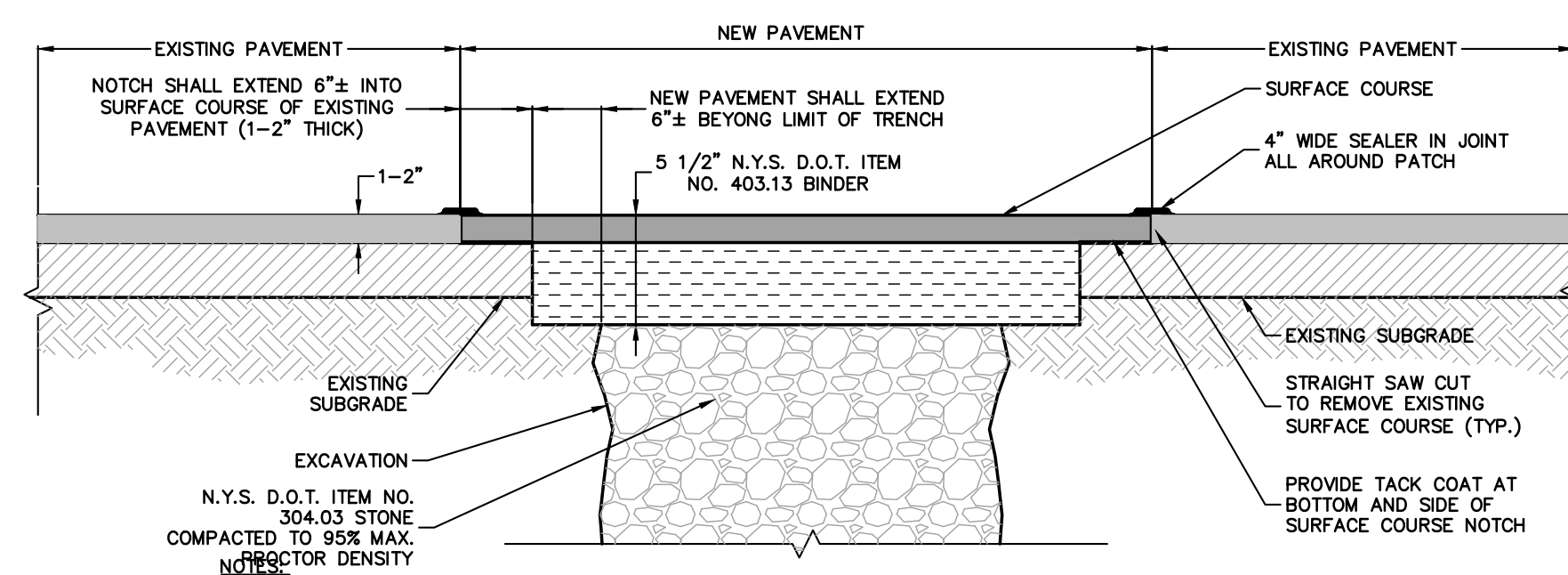
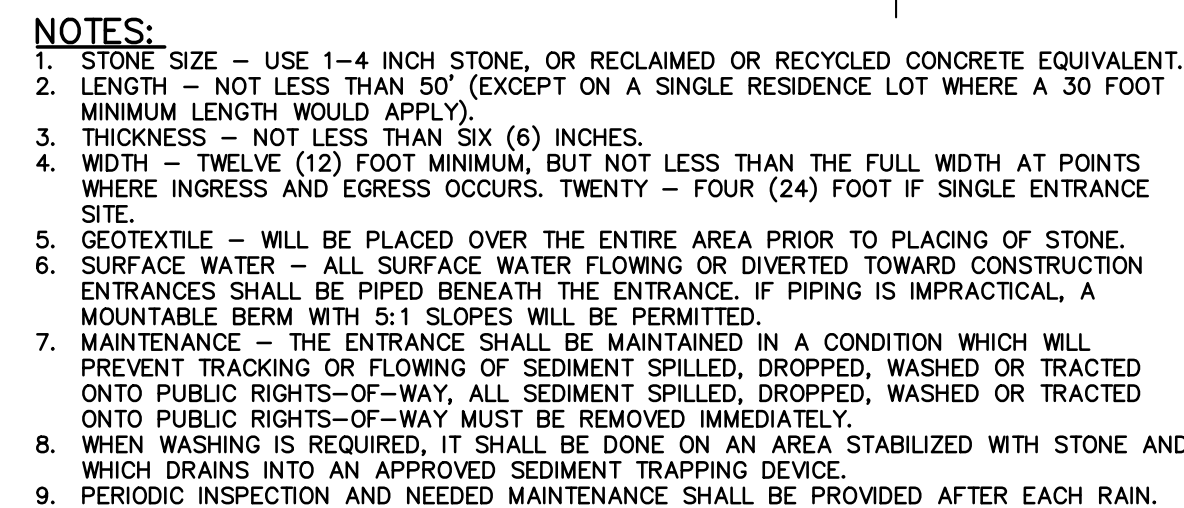
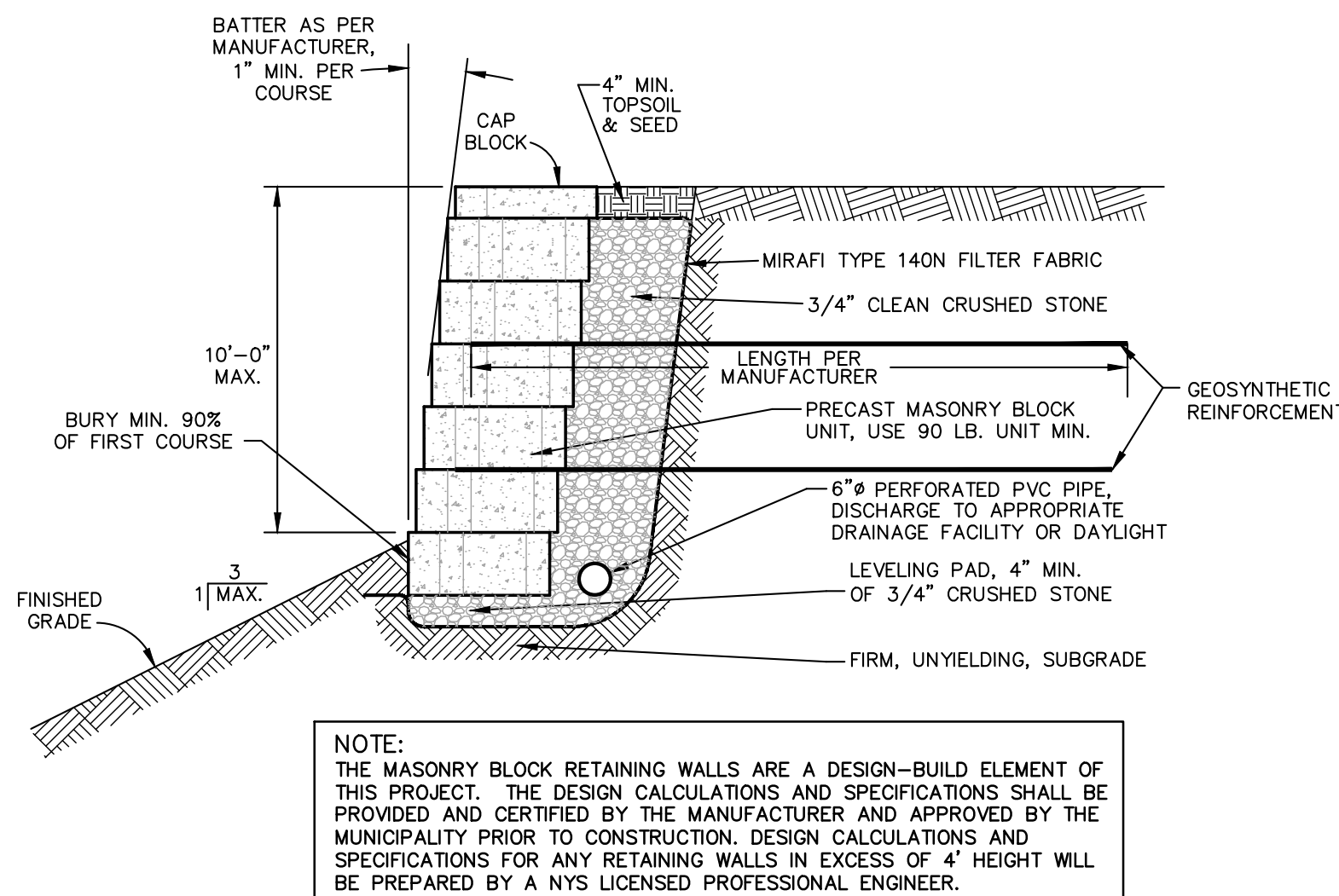
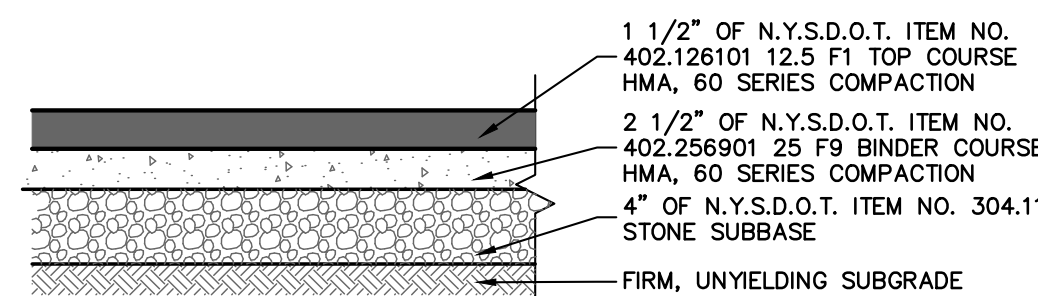
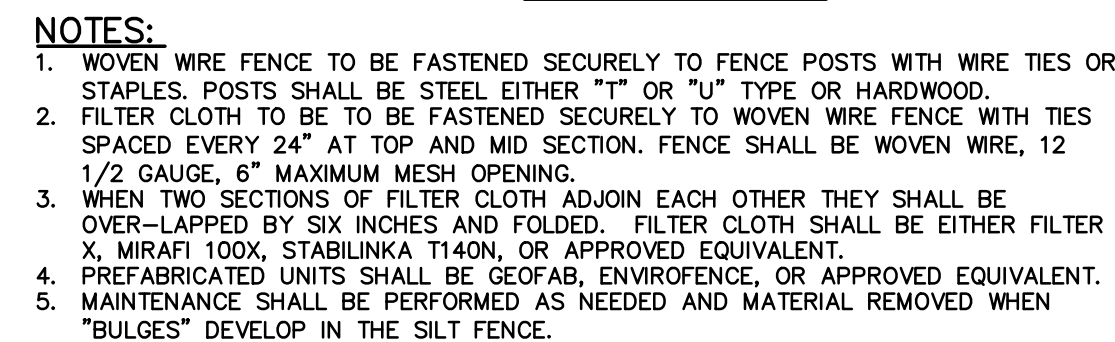
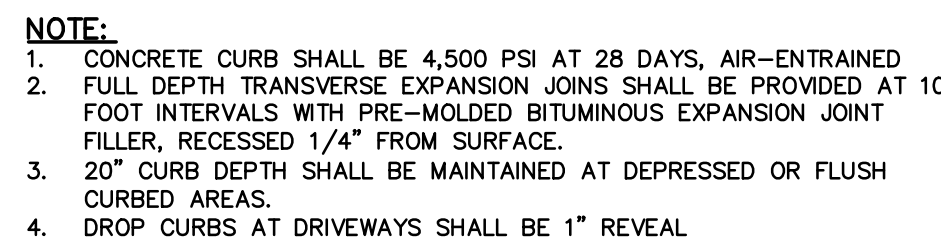
	<u>1 LB. PER ACRE</u>	<u>1 LB. PER 1,000 SF</u>
KENTUCKY BLUE GRASS -	20	0.45
CREeping REED FESCUE -	20	0.45
PERENNIAL RYE GRASS -	5	0.10
14. ALL SEEDED AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:
 LIME - AMOUNT NEEDED TO OBTAIN A pH OF 5.5
 FERTILIZER - 15 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUAL.
 IF NOT LANDSCAPED OTHERWISE, ALL NEW CONSTRUCTED STEEP PERMANENT SLOPED LESS THEN 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE SEEDED WITH THE FOLLOWING:

	<u>1 LB. PER ACRE</u>	<u>1 LB. PER 1,000 SF</u>
CREeping REED FESCUE -	10	0.45
CROWN VETCH -	15	0.35
BIRDFOOT TREFOIL -	8	0.20
TALL FESCUE OR SMOOTH BROMEGRASS -	15	0.35
W/PERENNIAL RYE GRASS -		0.10
15. ALL SLOPES 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH CLOTH BARGE AND PINNED TO THE GROUND.
16. SOD CAN BE USED INSTEAD OF SEED.
 CONSTRUCTION SEQUENCE:
 - a. CONSTRUCT STABILIZING CONSTRUCTION ENTRANCE.
 - b. INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
 - c. CONSTRUCT DIVERSIONS SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
 - d. PREVENT EXISTING VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
 - e. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE SYSTEM.
 - f. INSTALL SEDIMENT CONTROL BARRIERS AROUND ALL STORM DRAIN INLETS.
 - g. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OR 30 DAYS AS PER NOTE 2 ABOVE.
 - h. AFTER COMPLETION OF THE SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTE 1 AND 6 ABOVE.
 - i. REMOVE SEDIMENT BARRIERS AS PER NOTE 4 ABOVE.
 - j. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A Viable STABILIZED VEGETATIVE SPECS.
17. ALL CONSTRUCTION TO MEET CURRENT VEHICLE SPECIFICATIONS.
18. 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

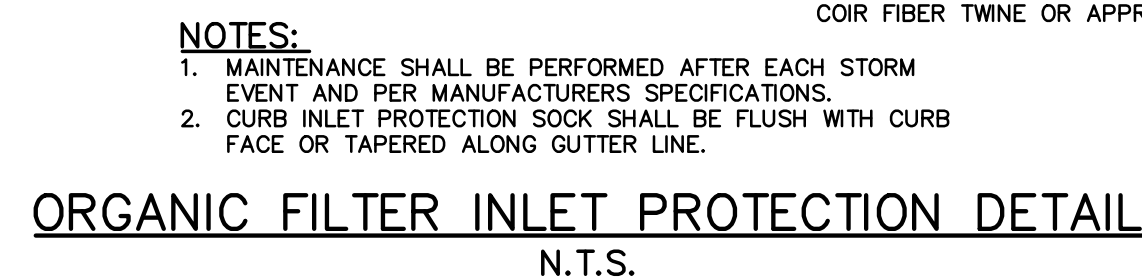
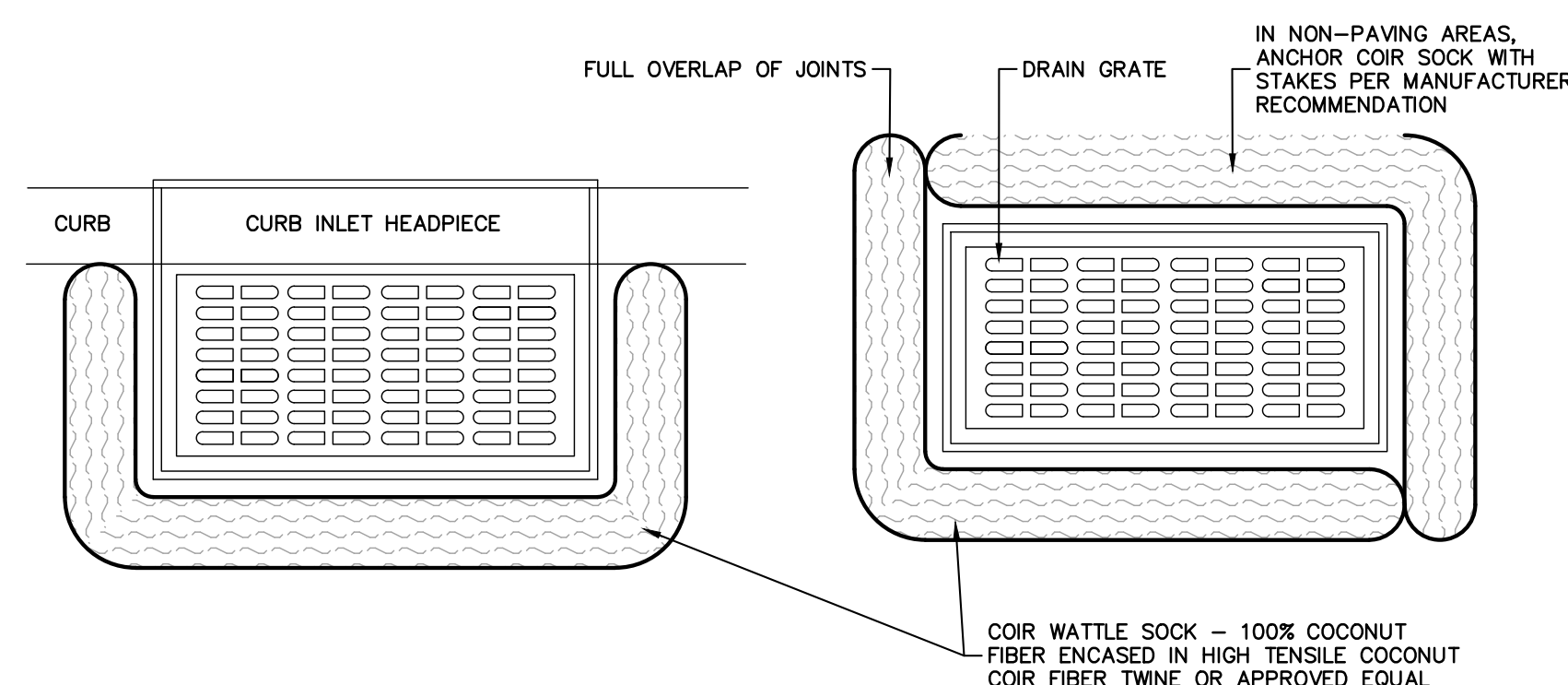


ANTHONY R. CELENTANO, P.L.S.
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DATE:	2.5.26	PROJECT NO:	2528
SHEET NUMBER:			



1. ALL WORK SHALL CONFORM TO NYS STANDARD SPECIFICATIONS CONSTRUCTION AND MATERIALS, AS AMENDED.
2. FULL DEPTH TRANSVERSE EXPANSION JOINTS SHALL BE PLACED EVERY 10 FEET TO FULL DEPTH OF CURB
3. CONCRETE SURFACE SHALL BE SCORED AND TOOLED EVERY 5 FEET.
4. ALL EDGES SHALL BE FINISHED WITH AN EDGING TOOL WITH A RADIUS OF 1/4 INCH.
5. A 1/2 INCH BITUMINOUS JOINT FILLER SHALL BE PLACED AT ALL JOINTS BETWEEN SIDEWALK, CURB, DRIVEWAYS, DRIVEWAYS, ETC.
6. THE CONCRETE SHALL BE FINISHED TO PRODUCE A SMOOTH FINISH AND THEN LIGHTLY BROOMED TO A UNIFORM TEXTURE.
7. A CLEAR MEMBRANE CURING COMPOUND OR EQUAL SHALL BE USED UPON COMPLETION OF FINISHING.
8. ALL SIDEWALKS SHALL ADHERE TO ADA GUIDELINES.
9. CONCRETE FINISH SHALL BE 6" FOR TYPICAL INSTALLATIONS AND 6" FOR DRIVEWAY APRONS
10. CONCRETE SHALL BE 3,500 PSI CONCRETE WITH 4% TO 6% AIR ENTRAINMENT
11. CROSS SLOPE SHALL NOT EXCEED 1.5%



VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION

APPLICANT:

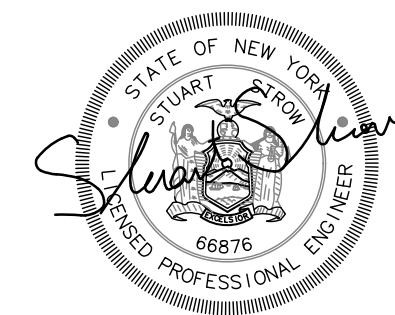
ACHIM REALTY LLC
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SURVEYOR:

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1	AS PER REVIEW COMMENTS	SM	6-15-2026
REV	DESCRIPTION	BY	DATE

SEAL:



PROJECT:

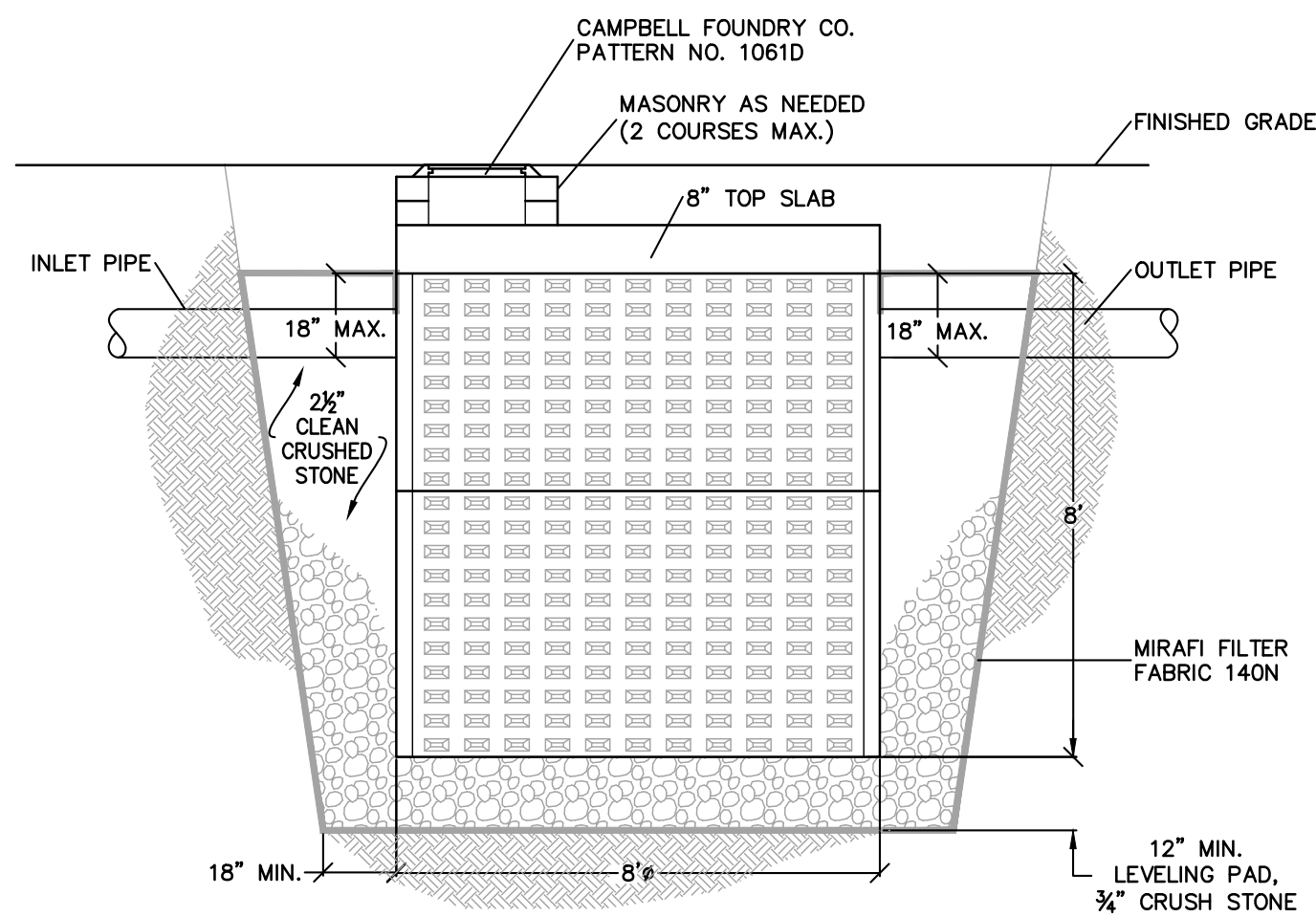
SCALE: AS SHOWN

SHEET TITLE:

CONSTRUCTION DETAILS (1 OF 2)

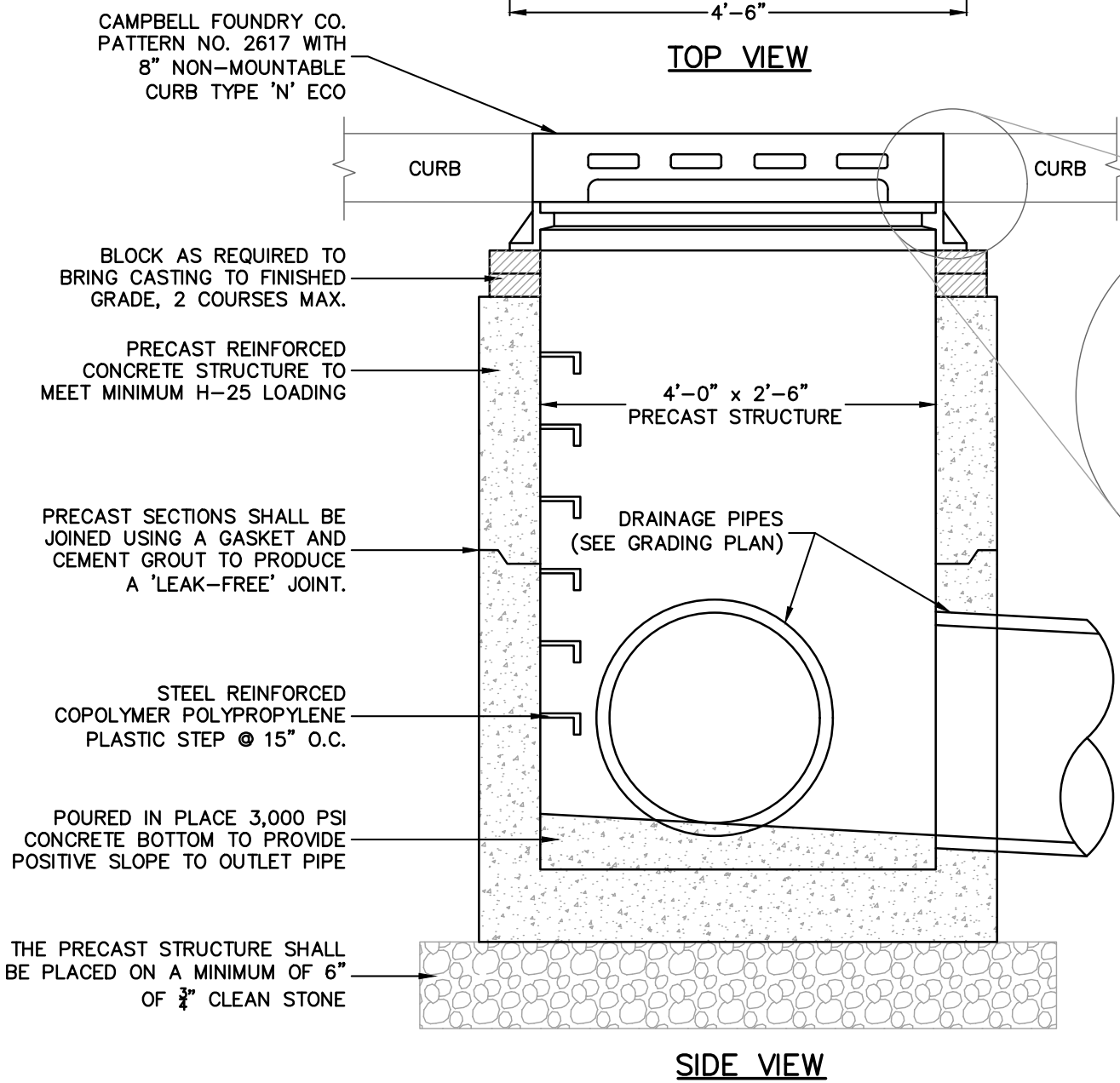
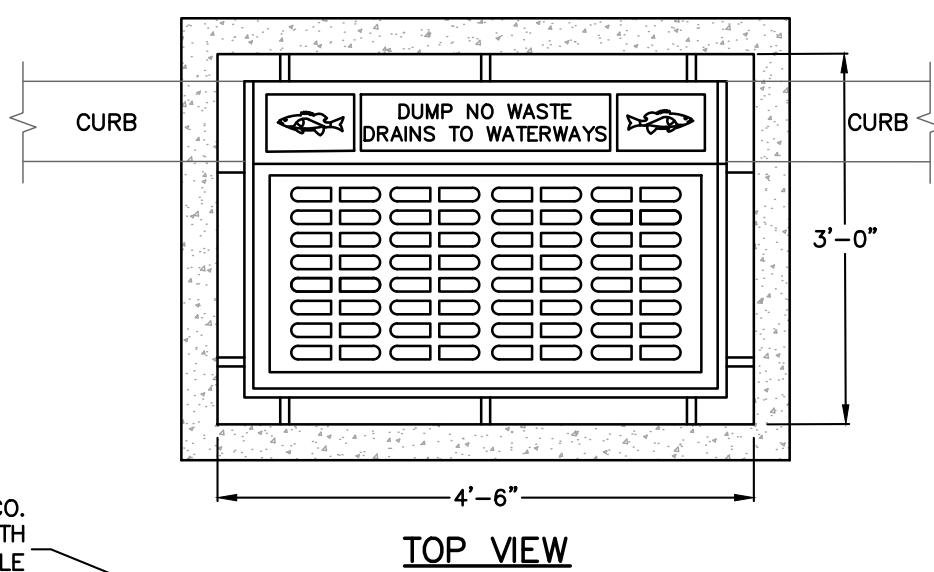
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DATE:	2.5.26	PROJECT NO:	2528
SHEET NUMBER:			

SHEET NUMBER



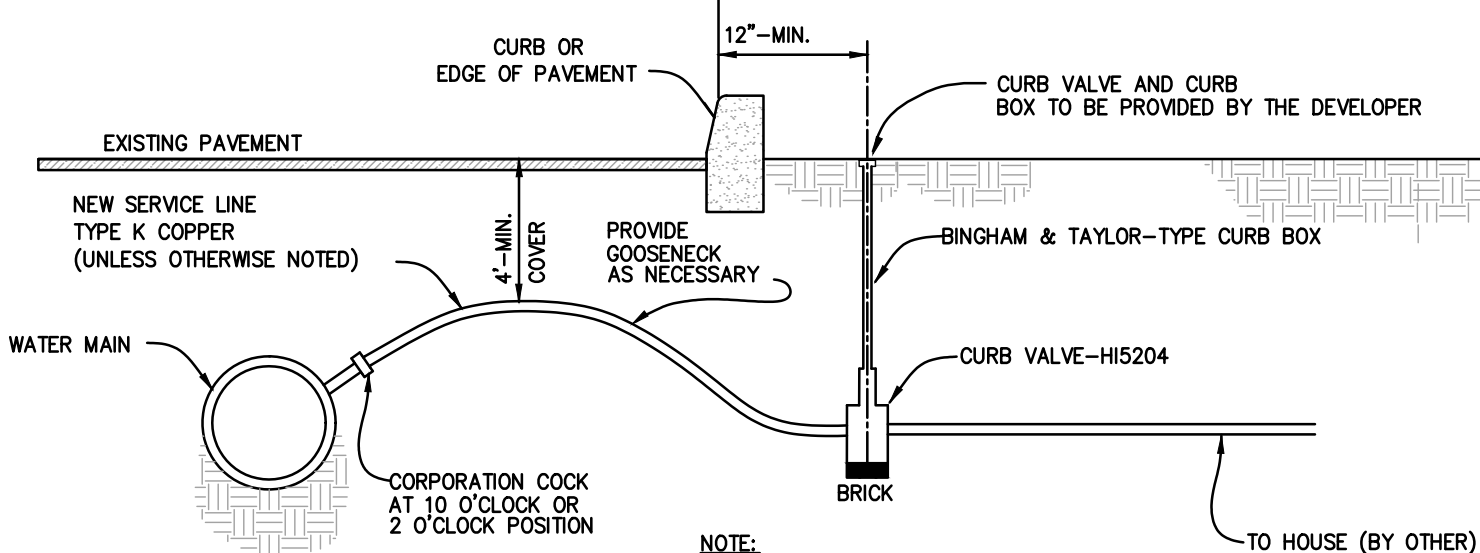
- NOTES:**
1. BASIN AS MANUFACTURED BY PRECAST CONCRETE SALES OR APPROVED EQUAL.
 2. INLET CASTING AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL. FIELD INLET (F.I.) - PATTERN # 2128.
 3. ALL ROOF LEADERS MUST BE CONNECTED TO DRYWELLS.
 4. CONTRACTOR TO PERFORM TEST PITS PRIOR TO CONSTRUCTION TO VERIFY PRESENCE OF GRANULAR MATERIAL AND SOIL PERCOLATION RATE. PERCOLATION RATE SHALL BE A MINIMUM 1" DROP IN 30 MINUTES.

TYPICAL STORMWATER DRYWELL DETAIL N.T.S.

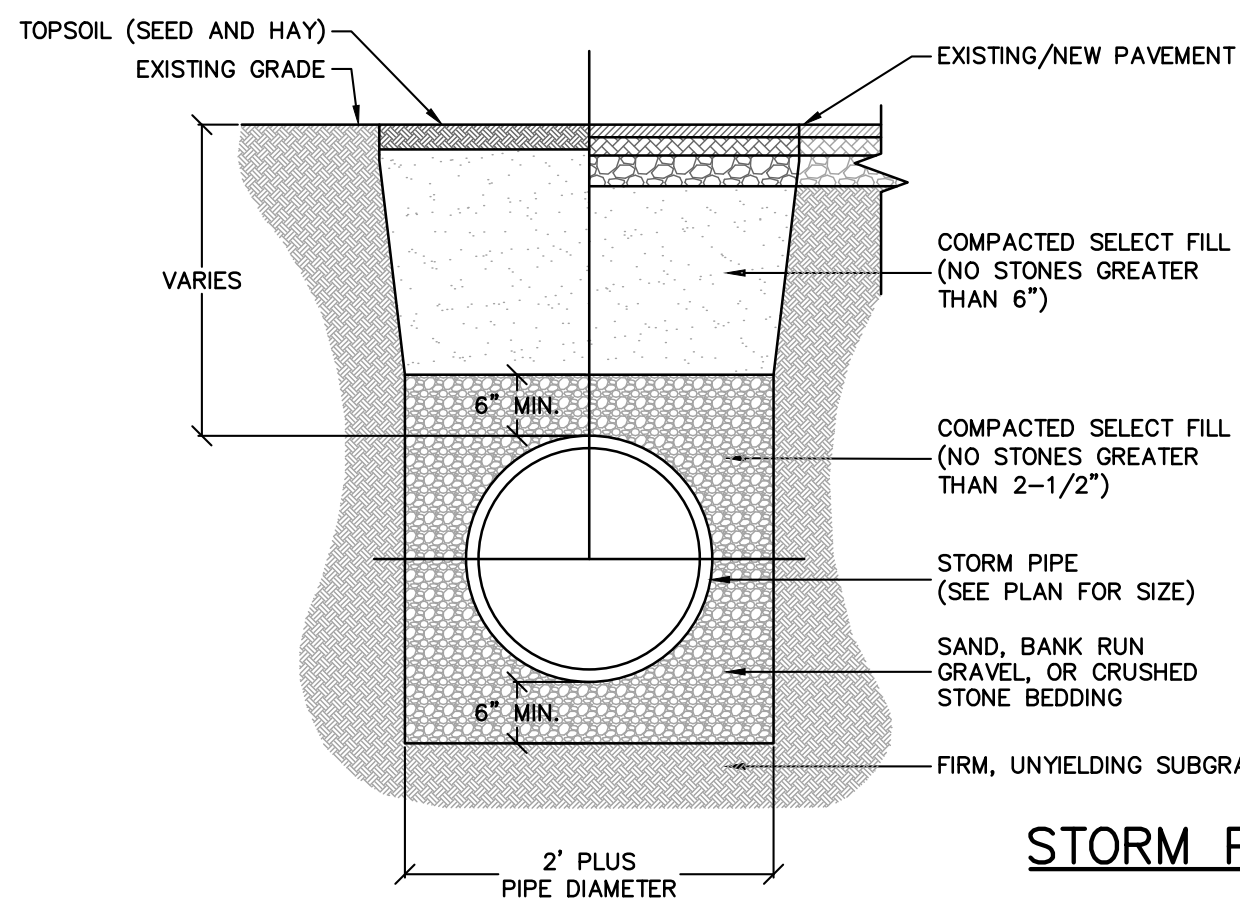


- NOTES:**
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. ALL JOINTS TO BE WATER-TIGHT.
 3. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

CATCH BASIN CURB INLET DETAIL N.T.S.

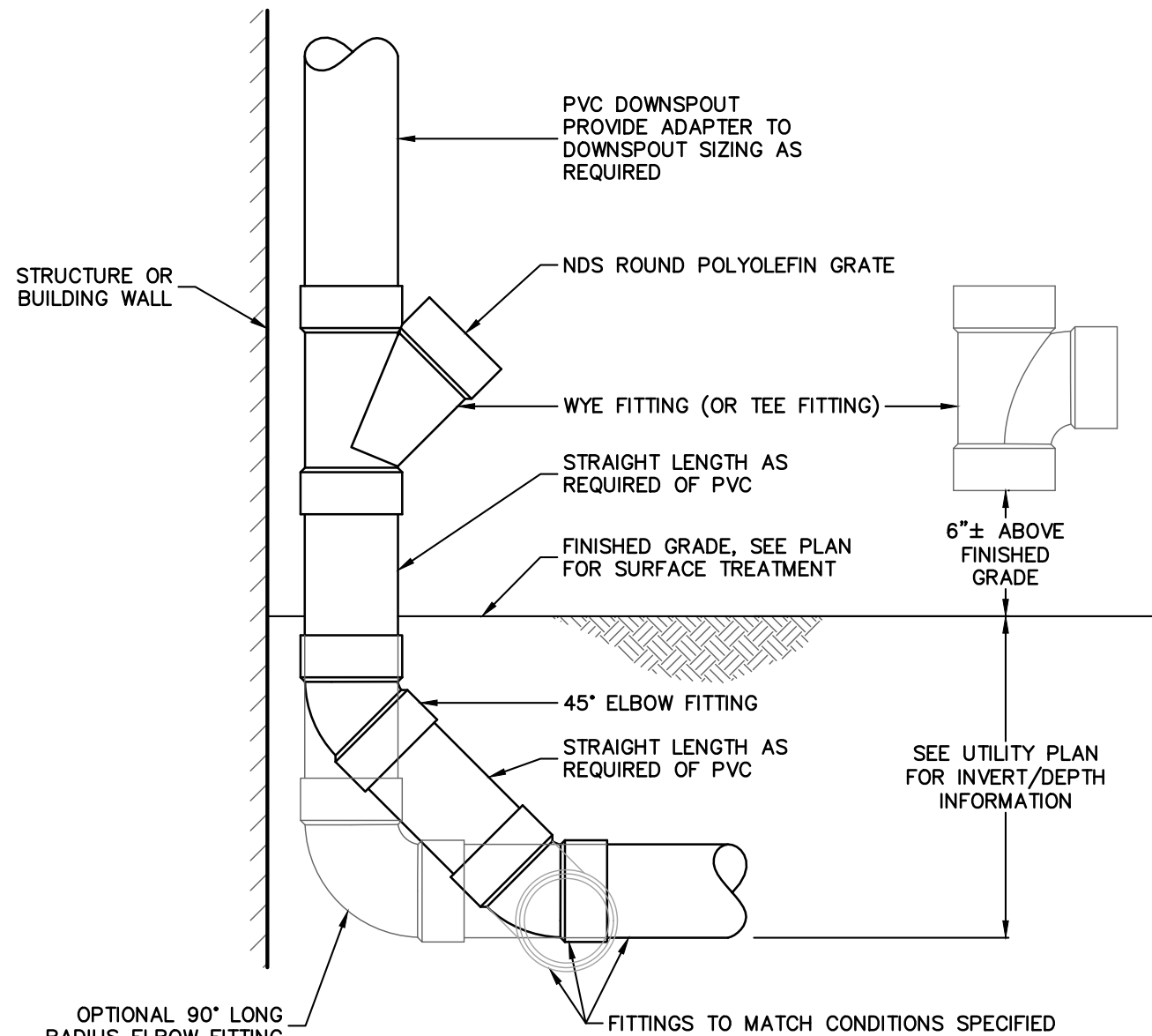


WATER SERVICE CONNECTION DETAIL N.T.S.



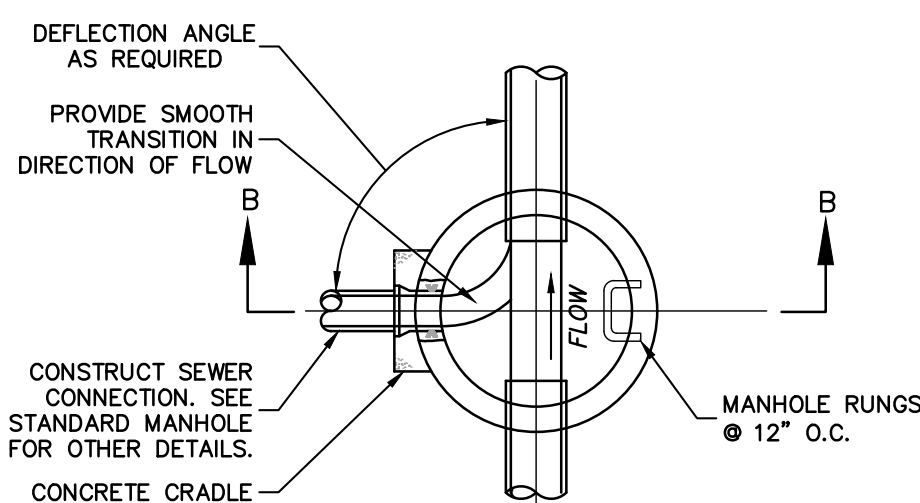
- NOTES:**
1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER RAVITY FLOW APPLICATIONS" (LATEST EDITION).
 3. LL RCP PIPE SYSTEMS SHALL BE INSTALLED IN COORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
 4. FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
 6. MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
 7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

STORM PIPE TRENCH DETAIL N.T.S.

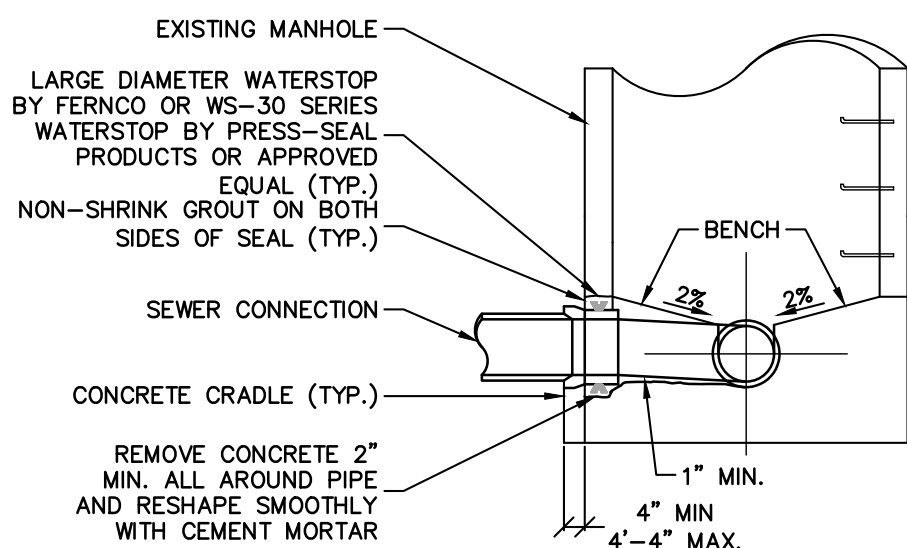


- NOTE:**
- ALL PIPE SHALL BE SDR 35 UNLESS OTHERWISE NOTED. SEE UTILITY PLAN FOR SIZING.

ROOF LEADER CLEANOUT DETAIL N.T.S.

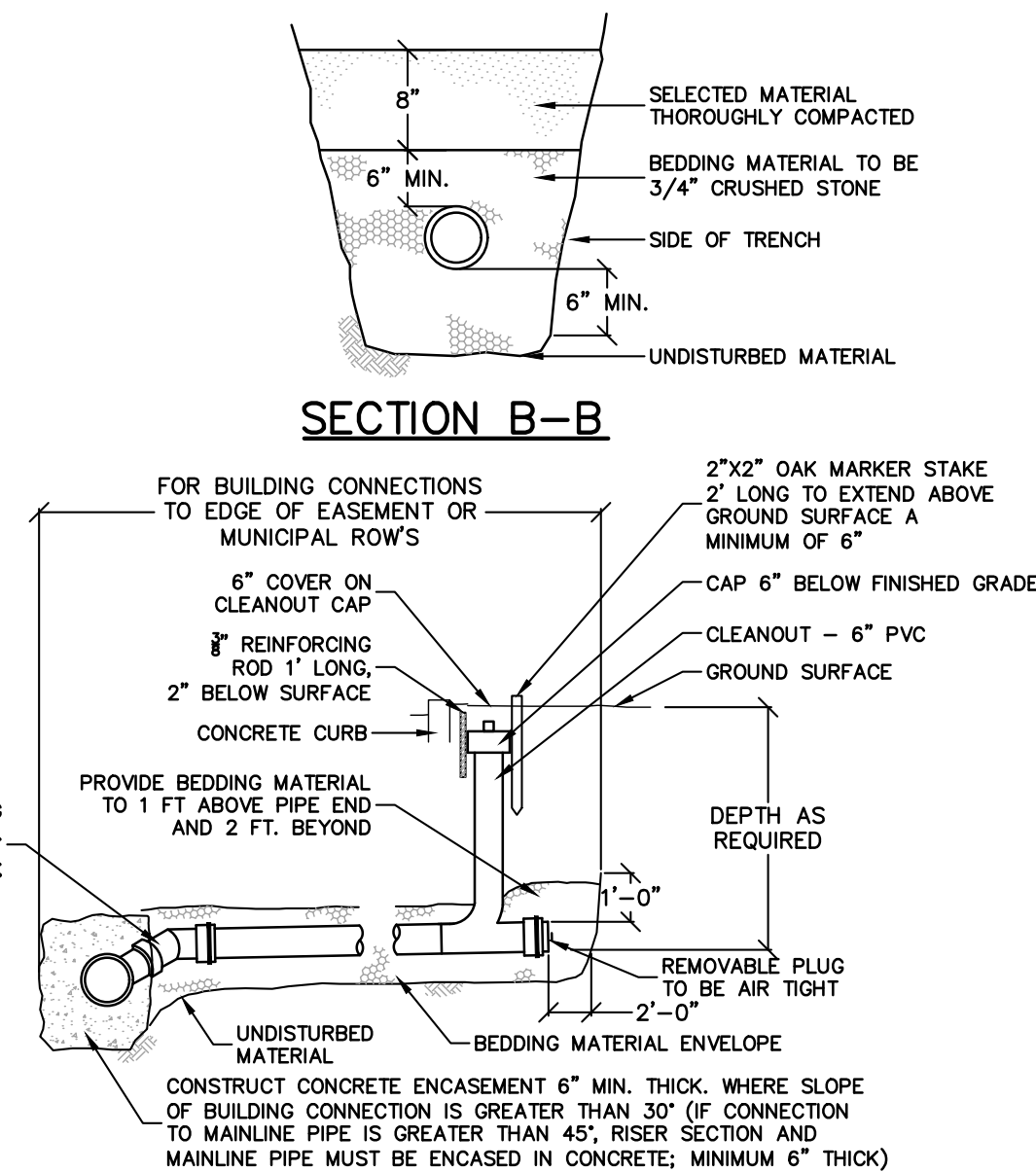


SECTIONAL PLAN

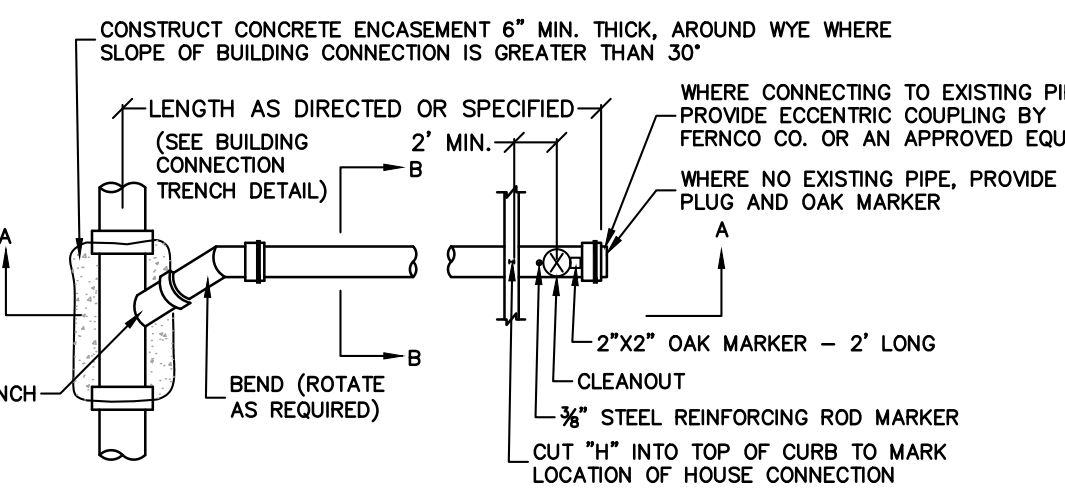


- NOTES:**
1. CLEAN AND ROUGHEN ALL SURFACES AGAINST WHICH NEW MORTAR IS TO BE PLACED.
 2. EXIST CONC. TO BE REMOVED TO MEET NEW CHANNEL. CONC. TO BE REMOVED TO A LINE AT LEAST 1-INCH BEYOND FINISHED CHANNEL LINE AND FINISHED OFF TO NEW LINE WITH CEMENT MORTAR.
 3. WHERE PIPE IS ABANDONED, PLUG PIPE WITH 12-INCH MIN CONC. AND BUILDUP CHANNEL TO ELEVATION OF EXISTING BENCH TO DIVERT FLOW OF NEW MANHOLE CHANNEL.
 4. THE PIPE PENETRATION MUST NOT BE THROUGH THE CONE SECTION OR A MANHOLE JOINT NOR SHALL IT INTERFERE WITH THE MANHOLE RUNGS.

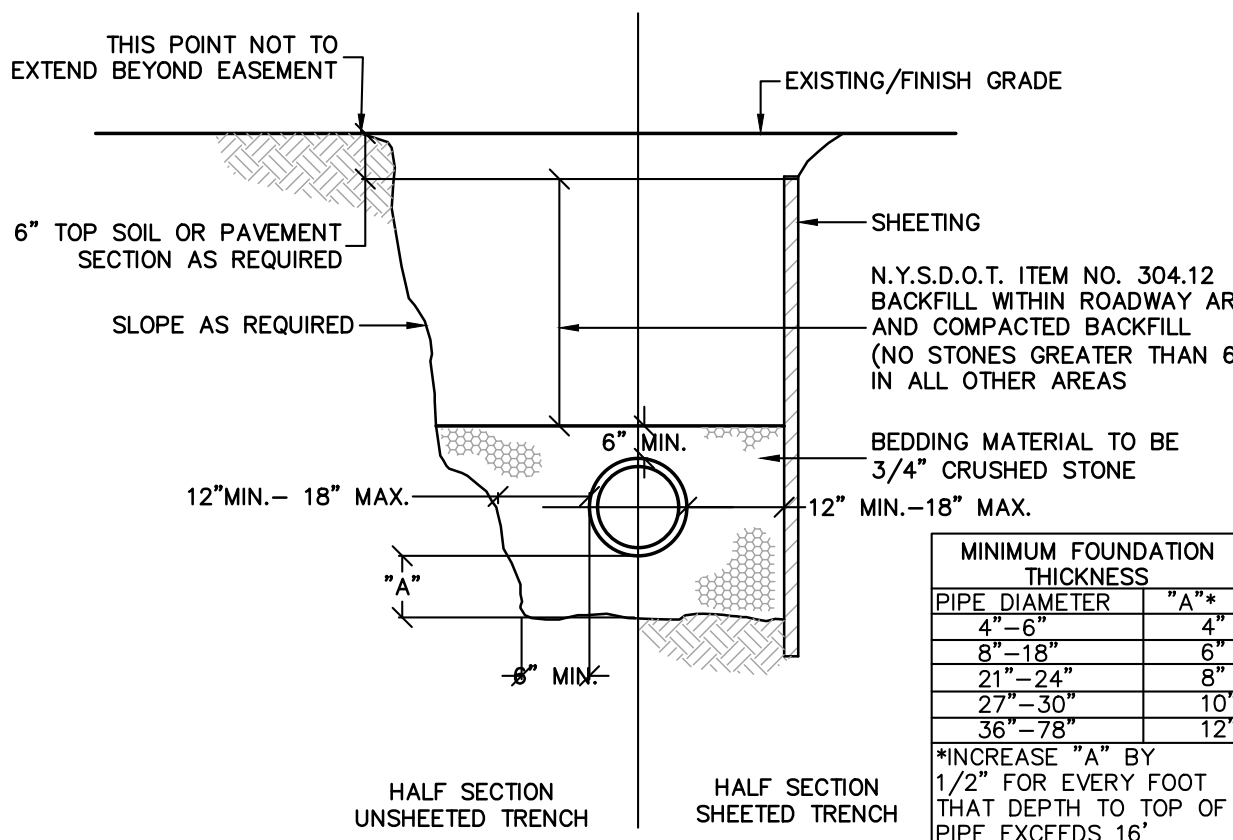
SEWER CONNECTION TO EXISTING MANHOLE DETAILS N.T.S.



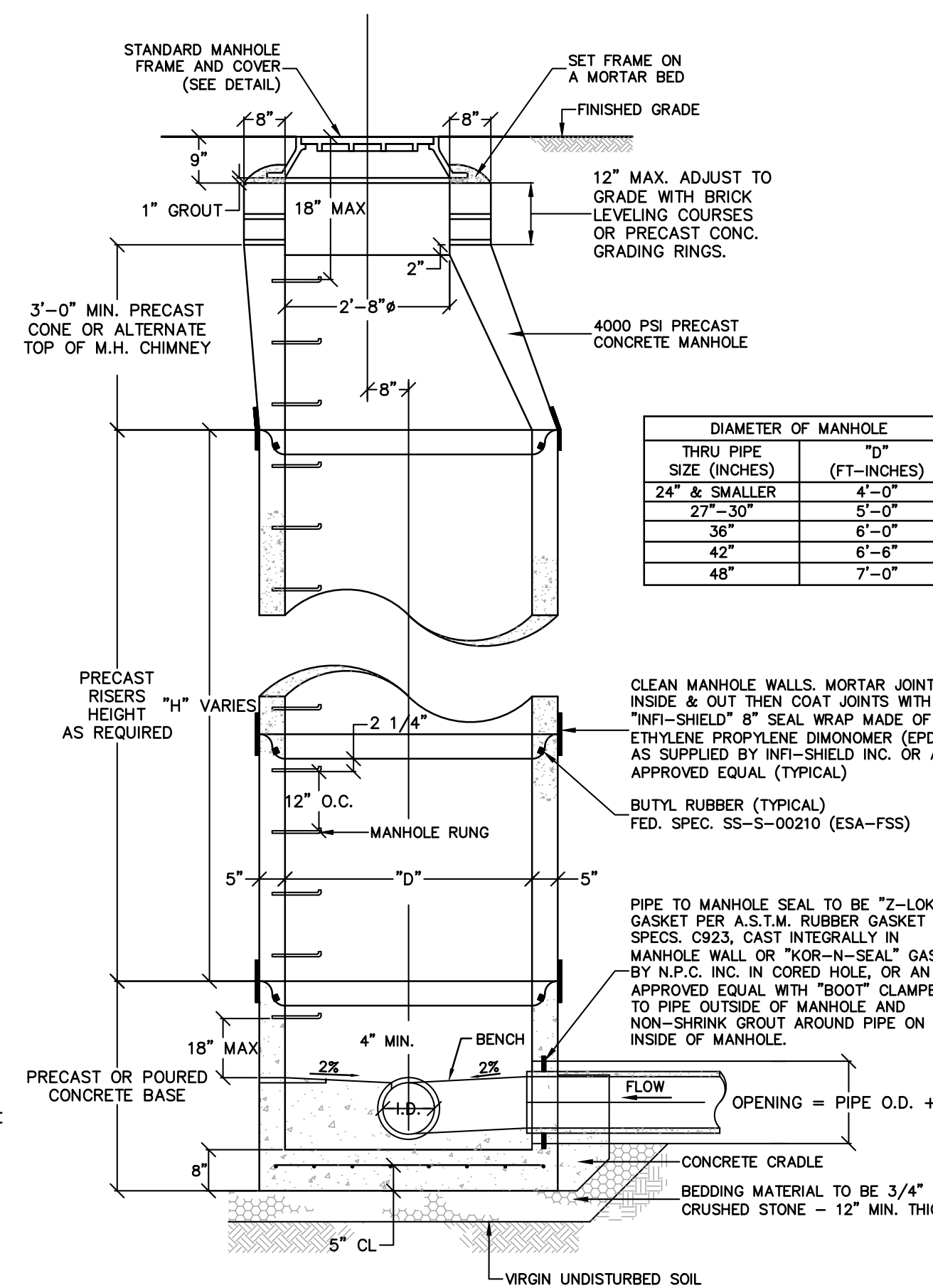
SECTION B-B



PLAN BUILDING CONNECTION DETAILS N.T.S.



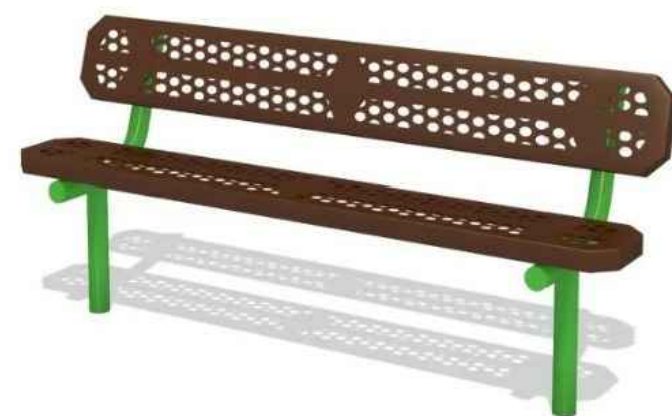
SANITARY TRENCH IN EARTH DETAIL R.C.S.D.#1 N.T.S.



PRECAST STANDARD MANHOLE R.C.S.D. NO.1 N.T.S.



REPRESENTATIVE PLAYSET GAMETIME MODEL #11934 N.T.S.



GAMETIME TUFFCLAD BENCH DETAIL MODEL #28009 N.T.S.



REPRESENTATIVE 2-BAY SWING SET GAMETIME SWING FRAME, MODEL #5316 N.T.S.

PROJECT:

29-35 SUMMIT AVENUE

VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION

APPLICANT:

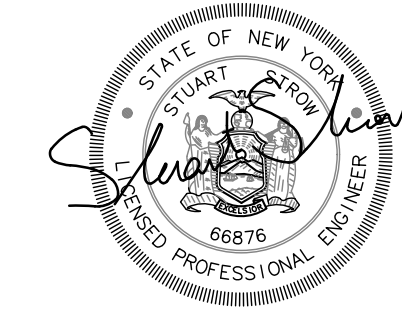
ACHIM REALTY LLC
58 NORTH COLE AVENUE
SPRING VALLEY, NY 10977
TEL: 845.323.8570

SURVEYOR:

ANTHONY R. CELENTANO, P.L.S.
31 ROSMAN ROAD
THEILLS, NEW YORK, 10984
TEL: 845.429.5290

REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	SM	6-15-2026

SEAL:



DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.

PROJECT:

29-35 SUMMIT AVENUE

SCALE:

AS SHOWN

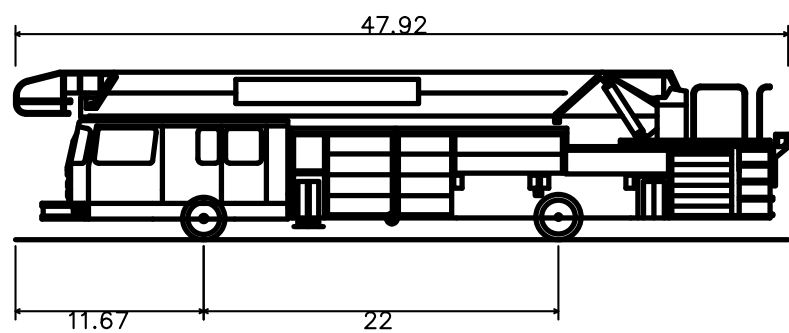
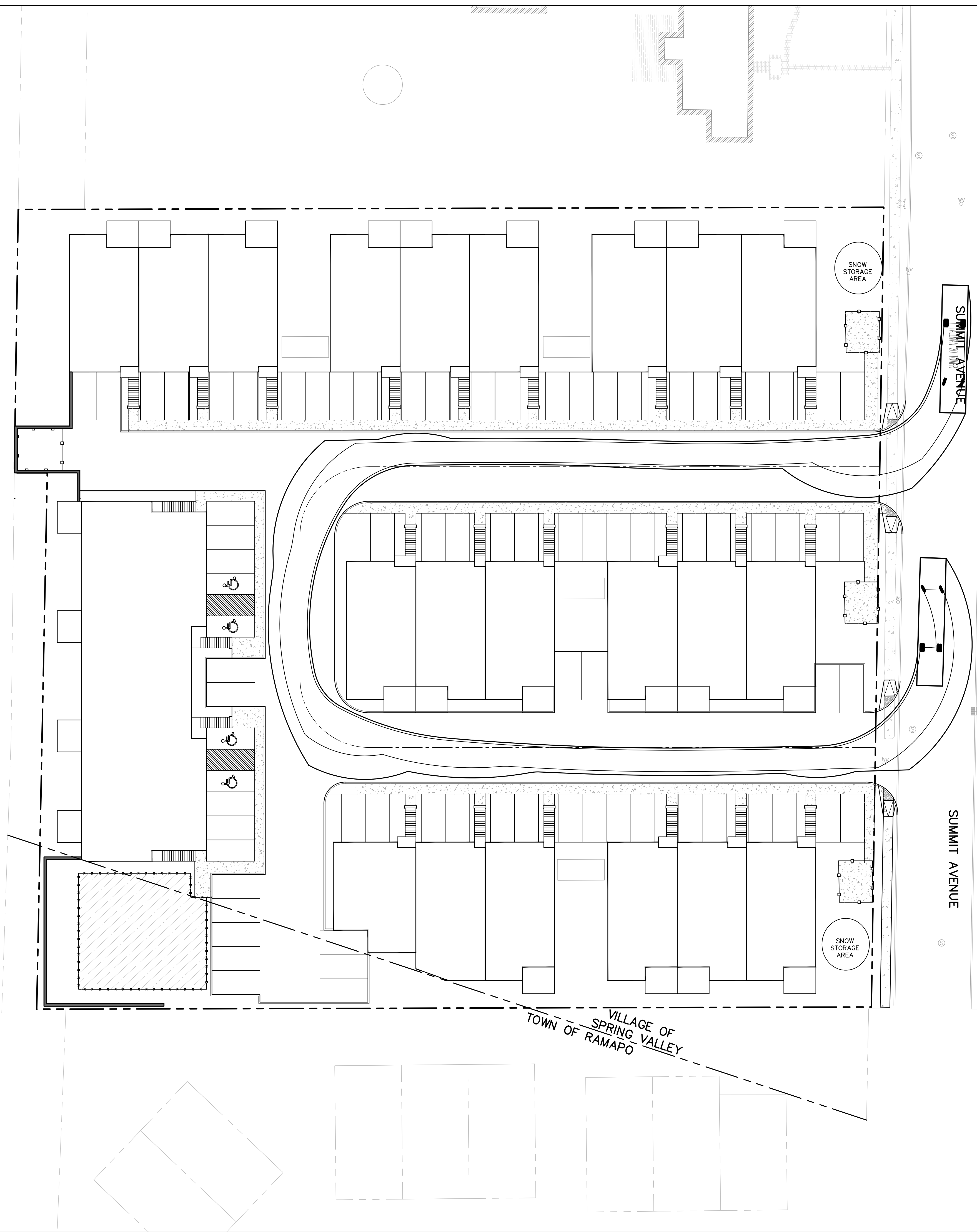
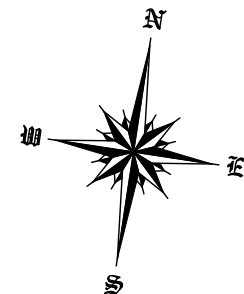
SHEET TITLE:

CONSTRUCTION DETAILS (2 OF 2)

DRAWN BY: MS CHECKED BY: SS

DATE: 2.5.26 PROJECT NO: 2528

SHEET NUMBER:



TALLMAN 20 TOWER
Overall Length 47.920ft
Overall Width 9.670ft
Overall Body Height 10.388ft
Min Body Ground Clearance 0.818ft
Max Track Width 8.000ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 30.000ft

PROJECT:
29-35 SUMMIT AVENUE
VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION 

APPLICANT:
ACHIM REALTY LLC
58 NORTH COLE AVENUE
SPRING VALLEY, NY 10977
TEL: 845.323.8570

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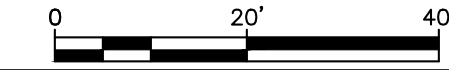
1	AS PER REVIEW COMMENTS	SM	6-15-2026
REV	DESCRIPTION	BY	DATE

SEAL:



29-35 SUMMIT AVENUE

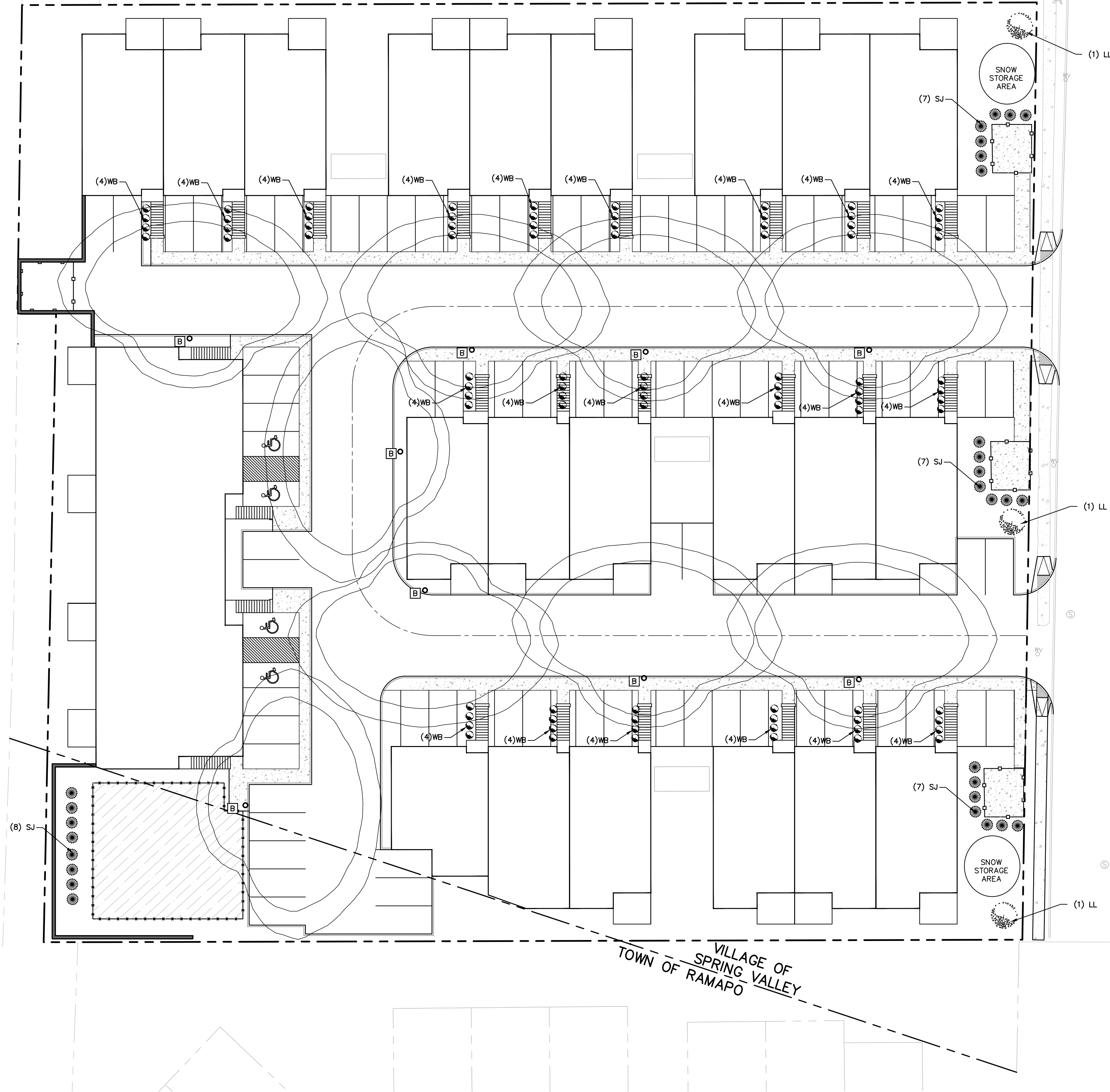
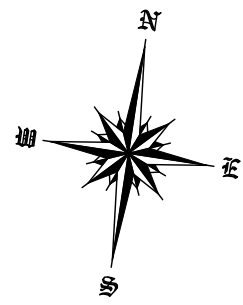
SCALE: 1" = 20'



SHEET TITLE:

FIRE TRUCK MANEUVER PLAN

DRAWN BY:	MS	CHECKED BY:	SS
DATE:	2.5.26	PROJECT NO:	2528
SHEET NUMBER:			



- STANDARD LANDSCAPE NOTES:**
- MULCH ALL PLANT BED AND TREES WITH 4" DEPTH OF SUGAR CANE OR LICORICE ROOT MULCH.
 - STAKE ALL TREES WITH 2 CEDAR STAKES, RUBBER HOSE AROUND TREE (6'-0" ABOVE GRADE) AND TWISTED #10 GAUGE GALVANIZED WIRE.
 - PLANT PIT SHALL BE 12" WIDER AND 6" DEEPER THAN THE ROOT BALL. REMOVE ALL EXISTING SOIL AND BACKFILL WITH MIXTURE OF ONE PART PEAT-HUMUS TO 4 PARTS TOPSOIL. ADD 3 YEAR "EESEY" GROW FERTILIZER PACKETS (OR EQUAL) - 1 PER INCH OF TREE CALIPER OR PER 12" HEIGHT OF SHRUB.
 - GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
 - ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL. NOTIFY 48 HOURS PRIOR TO PLANTING.
 - PROVIDE THE VILLAGE OF CHESTNUT RIDGE BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.
 - PROVIDE 4" MINIMUM TOPSOIL ON ALL DISTURBED AREAS OF SITE TO BE GRASSED OR LANDSCAPE.
 - PERENNIAL PLANTING BEDS TO BE INSTALLED WITH PLANT SELECTION AT THE OWNERS DISCRETION AND MAINTAINED ANNUALLY.
 - PROPOSED PERMANENT SEED SHALL BE THE FOLLOWING SEED MIX: 40% JAMESTOWN CHEWINGS FESCUE, 40% BARON KENTUCKY BLUEGRASS, AND 20 % YORKTOWN PERENNIAL RYE OR APPROVED EQUIVALENT AT 5 LBS. PER 1000 SF.
 - ALL DISTURBED AREAS SHALL BE SEEDED AS INDICATED IN NOTE 10 ABOVE, AND MAINTAINED AS GRASS UNLESS OTHERWISE INDICATED.

PLANTING SCHEDULE

SYMBOL	PLANT NAME	QUANTITY	SIZE & REMARKS
LL	TILIA CORDATA GREENSPIRE GREENSPIRE LINDEN	3	2-1/2" - 3" CALIPER B&B
SJ	JUNIPERUS SCOPULDRUM "SKYROCKET" SKYROCKET JUNIPER	29	5'-6" HT Ø 4' O.C.
WB	BUXUS MICROPHYLLA "WINTERGREEN" BOXWOOD	84	15"-18" HT. B&B

LIGHTING SCHEDULE

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
○	□	9	Cyclone Lighting	ON55P1B-FGC-T4HS-P40-30K	Campana	1	4965	0.9	55.1

PROJECT:

29-35 SUMMIT AVENUE

VILLAGE OF SPRING VALLEY
ROCKLAND COUNTY, NEW YORK

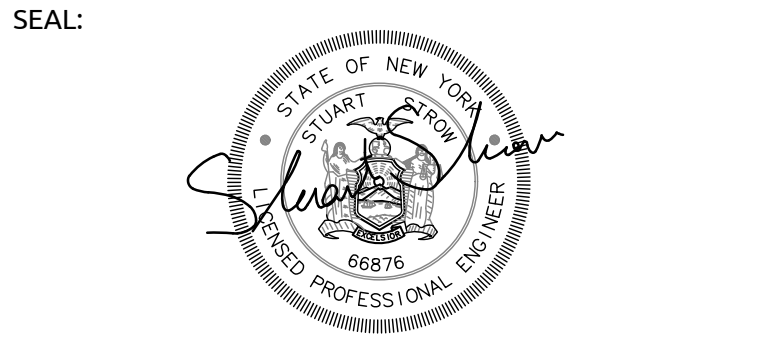


PROJECT LOCATION

APPLICANT:
ACHIM REALTY LLC
58 NORTH COLE AVENUE
SPRING VALLEY, NY 10977
TEL: 845.323.8570

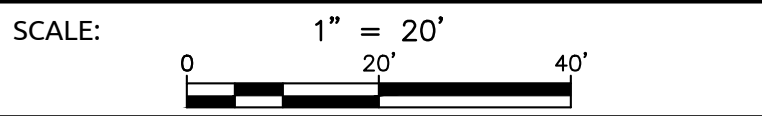
SURVEYOR:
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REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	SM	6-15-2026



PROJECT:

29-35 SUMMIT AVENUE



SHEET TITLE:

LANDSCAPING AND LIGHTING PLAN

DRAWN BY:	MS	CHECKED BY:	SS
DATE:	2.5.26	PROJECT NO:	2528
SHEET NUMBER:			